

GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION

AGENDA

March 12, 2026

6:00 p.m.

I. COMMISSION BUSINESS

- A. Approval of February invoices
- B. Approval of February 12, 2026 minutes
- D. Approval of March 12, 2026 agenda
- E. Items for postponement or withdrawal
- F. Recognition of Charlie Mifflin

II. OLD BUSINESS

- A. PSP-2026-04 Gaines Farm - Preliminary Subdivision Plat for 254 single-family detached residential lots, 1 HOA pocket park, 3 connections to conservation open space amenity and roads and the review of the Area Master Plan located southwest of the intersection of Paynes Depot Road and McClelland Circle.

III. NEW BUSINESS

- A. PDP-2026-07 Knight Hall Renovation & New Addition - Preliminary development plan for the renovation and new addition to Georgetown College Knight Hall located at 315 E College Street.
- B. PDP-2026-10 UK Federal Credit Union - Preliminary development plan for a bank located on Braeburn Road.

IV. OTHER BUSINESS

- A. Election of Officers
- B. Discussion of FY 26-27 Budget
- C. Discussion of IT Services

GAINES FARM PRELIMINARY SUBDIVISION PLAT & AREA MASTER PLAN
PSP-2026-04
Landscaping & Fencing Requirements Addendum
March 12, 2026

When reviewing single-family residential development, the *Landscape & Land Use Buffers Ordinance* specifies buffering requirements between the proposed development and adjacent land uses.

Section 6.12, "Property Perimeter Landscaping", states that when a residential zone adjoins an agricultural zone, a 50-foot-wide buffer is required along all common boundaries (except street frontage) and shall have one large tree (Group A per the adopted Planting Manual) per 40 feet of linear boundary planted 35 feet from the common boundary. Furthermore, Section 6.14, "Agricultural Buffering", states that the minimum setback from the common boundary for all buildings, structures, pools, etc. shall be 50 feet. Section 6.14 also states that, when land zoned anything except A-1 or C-1 is developed, the developer shall construct a 6-foot-tall minimum height fence of diamond mesh wire or equivalent no-climb wire along the property line and shall be required to remove any vegetation that would otherwise prevent the fence from being installed along the property line. This requirement is applicable along the south boundary (adjoining the Blazer property), north boundary (adjoining the Northside Christian Church property), and east and north boundary (adjoining the Green Acre Properties, LLC property).

As a planned development project, or planned unit development (PUD), the proposed subdivision plat is subject to Section 2.32 of the *Zoning Ordinance*, which states that the Planning Commission can attach special conditions to balance the intent of the Zoning Ordinance and the inherent flexibility of a PUD. For example, the applicant proposes additional landscaping and widened sidewalks along the proposed roadways to guide residents to the conservation district parcel, within which a walking trail is proposed. To protect the conservation district parcel and the communal open space amenity within, a four-to-six-foot-tall fence is recommended to be installed along the rear property line of lots 21 through 78 and the side yards of those residential lots which adjoin the three conservation district connection points. The fence installation would protect the floodplain and the Cane Run Creek by clearly identifying the property line and reducing the impact of residential uses in the neighborhood's open space. The fence along the conservation district boundary should match that utilized for the required agricultural buffering for neighborhood cohesion and effectiveness of the boundary. The conservation fence and the required agricultural buffering fence should connect, thus ensuring that the separation between the single-family residential and agricultural uses.

GAINES FARM PRELIMINARY SUBDIVISION PLAT & AREA MASTER PLAN
PSP-2026-04
Stormwater Management Regulations Addendum
March 12, 2026

Regulations

The City of Georgetown and Scott County have one of the most extensive, protective and comprehensive stormwater management regulations that predate most communities within the Commonwealth of Kentucky. The adopted stormwater management regulations aim to ensure that all site development within the city and county meet the local, state (Kentucky Energy & Environmental Cabinet, et. al.) and federal (US EPA, et. al.) standards as well as protecting natural resource waters within Georgetown and Scott Co.

The current adopted (**City Ordinance 15-001** and **County Ordinance 21-09**) stormwater regulations can be found in the *Stormwater Best Management Practices (BMP) Manual* located on the GSCPC website and referenced by City Code of Ordinance and the *Subdivision & Development Regulations* Article XI Section 1105 "Stormwater Management". The referenced ordinances and BMP Manual (finalized in 2017 and presented at public workshop) purpose is "to protect the general health, safety, and welfare of the citizens of Scott County by establishing a set of water quality and quantity policies to provide reasonable guidance for the regulation of stormwater runoff from all public and private developments for the purpose of preserving local water resources from degradation. This section seeks to meet that purpose through the following objectives:

1. To protect the municipal separate storm sewer system (MS4), community waters and waters of the Commonwealth;
2. To maintain after development, as nearly as possible, the predevelopment runoff characteristics, and to reduce the adverse impacts of stream channel erosion, pollution, siltation and sedimentation, and local flooding caused by development;
3. To improve stormwater quality through stormwater management controls and to ensure that these management controls are properly maintained and pose no threat to public safety; and
4. To provide long-term responsibility for and maintenance of stormwater Best Management Practices ("BMPs")."

The *Stormwater BMP Manual* establishes policies and practices that Professional Engineers must follow in designing new development stormwater management infrastructure to protect downstream areas and receiving waters and maintain the integrity and durability of existing and proposed stormwater systems. The manual also establishes procedures to be followed during and after construction of new development to guarantee that the installed measures will perform well into the future.

Application of Regulations

Any land disturbance activity that requires the disturbance of soil 5,000 square feet or greater in area shall obtain a permit for land disturbance as prescribed in the City and Georgetown-Scott County Planning Commission's (GSCPC) Erosion Prevention and Sediment Control Ordinance No. 2010-014. Prior to Land Disturbance Permit Issuance, as part of the final development or subdivision review process, stormwater management plans designed by a professional engineer must be submitted and approved by the Planning Commission Engineer. The stormwater management design, including required evaluation reporting and documentation must meet the requirements of the BMP Manual and include comparison of existing vs proposed site and stormwater runoff characteristics.

GAINES FARM PRELIMINARY SUBDIVISION PLAT & AREA MASTER PLAN
PSP-2026-04
Stormwater Management Regulations Addendum
March 12, 2026

All plans are required to include the following criteria:

- Groundwater Recharge, holding a portion of runoff from impervious areas onsite for infiltration into the groundwater system feeding our natural streams
- Water Quality Protection, filter treatment of all impervious runoff through vegetative or structural devices to remove harmful pollutants
- Water Quantity Control, reduce offsite runoff to pre-development levels for specified storm events through detention pond volume controls to minimize future downstream flooding
- Storm Water System Conveyance Design, calculations for onsite control of stormwater flow through inlets and pipes to collect and route runoff to prevent local flood damage
- Channel Protection – prevent downstream erosion of natural channels from concentrated runoff

Stormwater management “BMPs” and infrastructure is required to be installed and certified by the design engineer through asbuilt plans and post-construction certification to ensure that the requirements of the adopted regulations are met. Planning Commission Engineering Staff perform regular site visits as well to ensure that stormwater infrastructure is being installed per design and BMP Manual requirements during site development.

After development construction acceptance and prior to subdivision plat approval or development occupancy permit, it is the responsibility of the developer or property owner to enter into a BMP Operations & Maintenance (O&M) Agreement with the City of Georgetown or Scott County to ensure that the constructed stormwater management BMP's are maintained long-term and that yearly inspection reports are provided to the respective government entity pursuant to the adopted ordinance and Manual requirements.

Responsibility

If the owner/operator/maintainer (or future entity – agreements run with the property) does not satisfy the requirements, the City Engineer, Planning Commission Engineer and/or designated Code Enforcement Officer is empowered to enforce the regulations as set forth.

GAINES FARM PRELIMINARY SUBDIVISION PLAT & AREA MASTER PLAN

PSP-2026-04

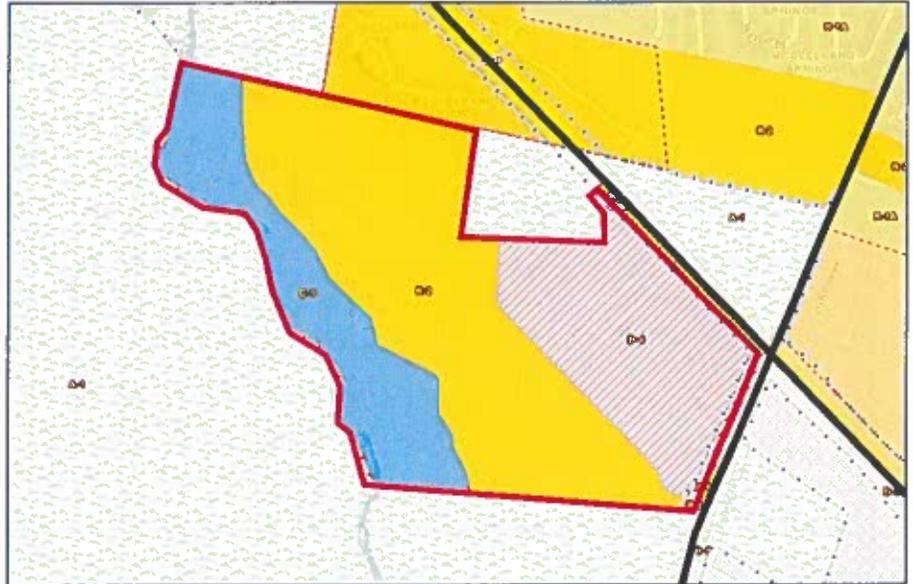
Staff Report to the Georgetown-Scott County Planning Commission

March 12, 2026

FILE NUMBER: PSP-2026-04

PROPOSAL: Preliminary Subdivision Plat for 254 single-family detached residential lots, 1 HOA pocket park, 3 connections to conservation open space amenity and roads and the review of the Area Master Plan

LOCATION: Paynes Depot Road
(140-30-002.000, 140-30-002.001, 140-30-002.002, & 140-30-002.003)



OWNER &

APPLICANT: Ball Homes,

CONSULTANT: EA Partners, Rory Kahly

STATISTICS:

Gross Site Acreage [Total]: 62.61 acres (Single-Family), 18.28 acres (Multi-Family), 52.81 acres (Neighborhood Business), and 40.44 acres (Conservation)

[182.45 gross acres]
Zone [Acreage]: R-2 PUD (Medium-Density Residential) [107.36 acres]
B-4 PUD (Neighborhood Business) [52.81 acres]
C-1 (Conservation) [40.44 acres]

Access: McClelland Circle [US-460 Bypass], Paynes Depot Road [US-62], and/or Leota Way

Surrounding Zone: A-1, R-2 PUD, B-5

Description of Master Plan: Multi-Use Planned Development Project

Proposed Subdivision Plat: 254 Single-Family Residential Lots, 1 Conservation Lot, and 1 HOA Lot

Density: 5.31 DU per Net Acre



BACKGROUND:

The Gaines Farm Multi-Use Development Project ("Area Project Site") is located southwest of the intersection of McClelland Circle and Paynes Depot Road, north of Cane Run, and south of the McClelland View neighborhood. The parent tract (Gaines Farm) was a 182.44-acre property which was rezoned in 2025 from A-1 to B-4 PUD, R-2 PUD, and C-1. The concept plan showed the parent tract having four sections, the B-4 commercial area located along McClelland Circle and Paynes Depot Road which transitions to a R-2 area intended for multi-family development before transitioning to a R-2 area spanning from the McClelland View neighborhood to Paynes Depot Road intended for single-family and a C-1 area for the 100-year floodplain of Cane Run.

Access is from Paynes Depot Road, McClelland Circle, and Leota Way. Adjacent properties to the Area Project Site are a mixture of residential subtypes, including single-family detached small-lot and rural single-family large-lot residences. Additionally, properties to the north have an approved final development plan for a grocery store, to the east have preliminary approvals for single-family detached and multi-family residential and an approved final development plan for a distillery, and to the north have preliminary subdivision plat approval for single-family detached residential.

The purpose of the application is two-fold, firstly to consider the area master plan for the larger Gaines Farm Multi-Use Development Project ("Area Master Plan"), and secondly to consider the preliminary subdivision plat for the 254 lots in the single-family residential area ("PSP Project Site").

AREA MASTER PLAN REVIEW:

Zoning Map Amendment Summary:

The Area Master Plan represents the implementation of the concept plan presented as a supplemental exhibit associated the zoning map amendment (ZMA-2024-68) for the Area Project Site. The zoning map amendment for the Gaines Farm property included approval of planned-unit development waivers for the single-family residential lots and conditioned public improvements, environmental preservation, open space area, and diversity of housing types, detailed below:

PUD Waivers:

1. Reduce minimum lot widths for single-family lots to 50-foot-wide.
2. Reduce front yard setback for single-family lots to 25 feet.
3. Reduce the minimum lot area for single-family lots to 6,500 SF.
4. Increase the density of the apartment areas and decrease the density of the single-family areas, resulting in the overall R-2 PUD area not to exceed 6.25 units per acre.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance and Subdivision and Development Regulations*.
2. The Applicant shall annex the Project Site into the City of Georgetown.
3. All areas within the greenbelt shall be rezoned to C-1 conservation.
4. The applicant shall be responsible for all offsite road and public water and sewer improvements required to serve the proposed development.
5. The approval of the zone change includes approval of the general Concept Plan proposed for the property.
6. The total number of dwelling units for the site area shall not exceed 659 units per the approved concept plan.

7. The Applicant shall return to the Planning Commission for a Preliminary Development Plan for an Area Master Plan for the Project Site prior to individual site Preliminary Development Plan and Preliminary Subdivision Plat approval(s). The Area Master Plan shall follow the general layout of the submitted Concept Plan. As part of Area Master Plan submittal, the Applicant shall submit an up-to-date traffic study for the correct sized area of commercial development and residential areas.
8. The Applicant shall provide a minimum usable open space of 10% of the total site area. The usable open space shall be improved and shall include only those amenities that are accessible to all residents and the general public. At least 50% of the usable open space shall be located outside the areas proposed to be rezoned to C-1 Conservation and said usable open space shall be located in the residential zoned areas. At least three connections shall be made from the residential areas to the C-1 area. A plan for usable open space, including amenities proposed in each area, shall be submitted as part of the Area Master Plan.
9. The Planning Commission shall not approve more than 150 dwelling units until such time that the development area has at least two connections to off-site public roads. New roadway construction shall not originate from Leota Way, instead coming from either Paynes Depot Road or McClelland Circle. A road stub to the property to the south shall be constructed as part of new roadway construction.
10. If the applicant does not progress to Preliminary or Final Development Plat/Plan approval within 3 years of Zoning Map Amendment approval, the approved Concept Plan shall expire and the Planning Commission may initiate a rezoning of the property back to A-1 (Agricultural) or some other appropriate zone.

It is critical to note that the zoning map amendment was approved with waivers to single-family lot width, area, and front yard setbacks in the PSP Project Area.

The Area Master Plan proposes a mix of land-use types, including neighborhood business, diverse housing types, open spaces, and conservation areas, arranged to transition in intensity across the site. Multi-family residential units are located adjacent to the neighborhood business zoned sections located along McClelland Circle and Paynes Depot Road. Single-family detached lots are located adjacent to the existing neighborhood to the north transversing south and east towards Paynes Depot Road and east of conservation areas and open space buffering Cane Run and floodplain.

Access & Circulation

Primary access to the site is proposed through the utilization, extension, and at times expansion of existing driveways and roadways from McClelland Circle, Paynes Depot Road, and Leota Way. The roadways proposed from McClelland Circle and Paynes Depot Road are proposed to be 41-foot-wide (60-foot ROW) and the extension of Leota Way is proposed to match the existing roadway with a 29-foot-wide pavement with 50-foot ROW.

The *Subdivision & Development Regulations* identify that roads measuring at least 32-foot-wide from curb to curb with at least 60 feet of road ROW shall be considered a collector road. The proposed roadways from McClelland Circle and Paynes Depot Road meet this requirement for both pavement width and ROW and are therefore sized to handle diverse land uses as shown in this development. A road stub is also shown to access the adjoining property to the south. The location of the road stub is directly adjacent to lot 87 along the south boundary. The curve of the proposed roadway from Paynes Depot Road does not satisfy the geometric requirements outlined in the *Regulations*, and the final subdivision plat and civil engineering plans for the road will need to address this issue.

It was noted that alignment and cross sections of major access locations may require additional review for appropriateness and design. The access from McClelland Circle has been identified as needing additional review as the geometry of the roadway does not satisfy the requirements of the *Subdivision & Development Regulations*. Furthermore, notes regarding access to McClelland per additional linework and note what is being proposed regarding timing and coordination with the adjoining property owner to allow for acceptable tangent are also required. The Paynes Depot access should provide sufficient tangent and standard intersection to allow for adjoining stub street connection to the property to the south. The geometry of the road does not meet design requirements and will need to be rectified as part of the civil engineering plan and final subdivision plat.

Staff advises that the previously approved Condition of Approval #9 be maintained if the preliminary subdivision plat and area master plan are approved. The Condition of Approval states that the development area shall have two connections to off-site public roads and that new roadway construction shall not originate from the terminus of Leota Way, an existing public road serving the McClelland View neighborhood. The intent of this condition is to ensure that no one roadway absorbs traffic greater than what it is rated for, as Leota Way is not constructed to the "Collector Road" standard set forth by the *Subdivision & Development Regulations*, while Paynes Depot Road and McClelland Circle are constructed to that standard. Furthermore, the condition of approval is intended to ensure that the existing neighborhood is not subject to the heavy machinery traffic associated with new roadway construction.

The full-access connection to two public roadways prior to the recording of the 150th single-family residential lot is also advised to remain. The requirement for a secondary road connection would be triggered after completion of the first phase of residential development. The connection to McClelland Circle, shaded and shown on the submitted plat, is identified as "Temporary Construction Access". The preliminary subdivision plat makes no indication that the temporary construction access will be built to public road standards at this time. While a temporary road may be installed for the purpose of installation of utilities and road construction, to satisfy the Condition of Approval, the connection must be a public road. A connection to Leota Way, an existing public road built to residential traffic standards, would satisfy that requirement.

Traffic Impact Study

A traffic study was performed by EA Partners as part of the application for preliminary subdivision plat and area master plan review. The report is dated February 2025 and looked at three intersections:

1. McClelland Circle [US-460 Bypass] and Paynes Depot Road [US-62]
2. Existing Driveway and McClelland Circle [US-460 Bypass], located approximately 1,600 feet west of the intersection of McClelland Circle & Paynes Depot Road
3. Existing Driveway and Paynes Depot [US-62], located approximately 1,200 feet south of the intersection of McClelland Circle & Paynes Depot Road

In addition, in an addendum to the Traffic Impact Study Report, the applicant reviewed a fourth intersection, specifically:

4. Leota Way to Ferguson Lane/Fincastle Way and McClelland Circle.

A full version of the study is available for examination in the Planning Commission office. Staff has provided the Commission with a copy of the main analysis portion of the study. The purpose of a Traffic Impact Study for new development is to help the Planning Commission see what impacts the proposed development will have on the existing transportation network, and what steps might be taken to mitigate those impacts if they cause an unacceptable decrease in the Level of Service. As a clarification, we

would not expect a Traffic Impact Study to identify how a new development would solve pre-existing traffic volume or congestion issues.

| | LUC | Metric | Entering (%) | Exiting (%) | Total Trips (% of whole) |
|--------------------------------------|-----------------|---------------|---------------------|--------------------|---------------------------------|
| Anchor Tenants | 813, 822, & 862 | 258.0k SF GFA | 239 (12.67%) | 179 (9.49%) | 418 (22.16%) |
| Outlot - Sit Down Food | 932 | 16.0k SF GFA | 83 (4.40%) | 68 (3.61%) | 151 (8.01%) |
| Outlot - Drive-Thru Food | 937 & 934 | 14.0k SF GFA | 361 (19.14%) | 345 (18.29%) | 706 (37.43%) |
| Outlot - Auto | 944 & 948 | 21.0k SF GFA | 102 (5.41%) | 104 (5.51%) | 206 (10.92%) |
| Outlot - Services & Other | 150, 899, & 911 | 51.0k SF GFA | 36 (1.91%) | 23 (1.22%) | 59 (3.13%) |
| Single-Family Detached Res. | 210 | 263 DU | 46 (2.44%) | 138 (7.32%) | 184 (9.76%) |
| Multi-Family Res. (low-rise) | 220 | 406 DU | 39 (2.07%) | 133 (7.05%) | 162 (8.59%) |
| TOTAL TRIPS | | | 906 (48.04%) | 990 (51.96%) | 1,886 |

Table 1 (above): AM Peak Hour Trips by Land Use Category

| | LUC | Metric | Entering (%) | Exiting (%) | Total Trips (% of whole) |
|--------------------------------------|-----------------|---------------|---------------------|--------------------|---------------------------------|
| Anchor Tenants | 813, 822, & 862 | 258.0k SF GFA | 369 (15.76%) | 381 (16.27%) | 750 (32.02%) |
| Outlot - Sit Down Food | 932 | 16.0k SF GFA | 87 (3.71%) | 55 (2.35%) | 142 (6.06%) |
| Outlot - Drive-Thru Food | 937 & 934 | 14.0k SF GFA | 246 (10.50%) | 228 (9.74%) | 474 (20.24%) |
| Outlot - Auto | 944 & 948 | 21.0k SF GFA | 179 (7.64%) | 177 (7.56%) | 356 (15.20%) |
| Outlot - Services & Other | 150, 899, & 911 | 51.0k SF GFA | 82 (3.50%) | 84 (3.59%) | 166 (7.09%) |
| Single-Family Detached Res. | 210 | 263 DU | 156 (6.66%) | 91 (3.89%) | 247 (10.55%) |
| Multi-Family Res. (low-rise) | 220 | 406 DU | 130 (5.55%) | 77 (3.29%) | 207 (8.84%) |
| TOTAL TRIPS | | | 1,249 (53.33%) | 1,093 (46.67%) | 2,342 |

Table 2 (above): PM Peak Hour Trips by Land Use Category

The tables above (Table 1 & 2) show the anticipated AM & PM peak hour trips generated by the development when built out.¹ The trip information was supplied by the Applicant to the consultant and checked against the ITE Trip Generation Manual. If the site were proposed to be developed differently than the Area Master Plan or redeveloped, staff would request an updated Traffic Impact Study.

The study indicates that a large majority of the AM trips (81.65%) and PM trips (80.61%) can be attributed to commercial activities identified as Phase 3 in the Area Master Plan, analyzed below. The single-family development of 263 dwelling units is anticipated to generate approximately one-tenth of the morning and evening peak hour trips, or 9.76% and 10.55% respectively.

The traffic study addendum reviewed traffic patterns to and from Leota Way, Ferguson Lane, and Fincastle Way to McClelland Circle. The public road network in this area serves a 44-unit residential subdivision (McClelland View) and a 16,000 SF church (Northside Christian). The addendum found that approximately 41 AM peak hour trips and 54 PM peak hour trips are generated by both types of use. For the purposes of review, the study extrapolates that 75 single-family residential units associated with the Gaines Farm property may choose to utilize the existing public road connections of McClelland View. The peak hour trip generation total when considering Gaines Farm, McClelland View, and Northside Christian is 97 AM trips (28 in, 69 out) and 128 PM trips (77 in, 51 out). In light of the potential increase in intersection activity, however, the no-build and full-build intersection performance of Fincastle Way and McClelland Circle would remain at a LOS of C, and intersection delays would not exceed 4 seconds in either the AM (15.1 no-build versus 18.2 full-build) or PM (15.7 no-build versus 18.4 full-build). The addendum concludes, stating that the intersection of Fincastle Way and McClelland Circle would not be significantly impacted if Gaines Farm and McClelland Circle were to be connected to one another. Staff advises that, for both the safety of existing and new residents to this area as well as emergency services access, a full-access public road connection to Leota Way is required to/from the Gaines Farm project.

The traffic study makes several conclusions. Firstly, at the 2035 full build-out, the existing intersection of Paynes Depot Road and McClelland Circle would need to have signal timing adjustments to accommodate additional activity at the intersection. The study indicates that, by 2035, the intersection would need timing improvements regardless of site development. Secondly, at the 2035 full build-out, the development access intersections with McClelland Circle and Paynes Depot Road would require changes in intersection typology as well as roadway improvements in order to maintain appropriate levels of service. Both junctions function as two-stop control intersections, which allow for the larger arterials to continuously flow, but by 2035 would degrade to the point where alternative traffic control mechanisms would be necessary. For the intersection with McClelland Circle, the study considers either through a traffic signal or an R-CUT, while for the intersection with Paynes Depot Road, the study considers a traffic signal. As a state-maintained roadway, the ultimate determination on intersection typology would be at the discretion of KYTC, however it is essential to note that the study concludes that improvements would need to be made by or before 2030 and 2031, respectively.

Ultimately, Staff recommends that the Planning Commission adopt the recommendations and conclusions of the traffic impact study and traffic impact study addendum as submitted by the applicant.

¹ This data is from the Traffic Impact Study performed by EA Partners, dated February 2025. Land Use Codes (LUCs) were consolidated by use similarity for ease of review, reference the Traffic Impact Study for a breakdown of trip generation by specific LUCs.

Area Master Plan Review

The Area Master Plan is broken up into three phases. The areas of Phases 1 and 2 are zoned R-2 PUD and Phase 3 is zoned B-4 PUD.

Phase 1 is nearest to the Conservation area, zoned C-1, and includes for the construction of roadways (Phase 1.1) and 149 single-family detached residential lots (Phase 1.2). Phase 2 includes the construction of additional roadways (Phase 2.1), an additional 105 single-family detached residential lots (Phase 2.2), and the development of up to 408 apartment buildings (Phase 2.3). The simultaneously submitted preliminary subdivision application includes Phases 1.1, 1.2, 2.1 and 2.2. The *Zoning Ordinance* includes the following uses within the R-2 zone:

- A. Single-Family Dwellings
- B. Duplexes & Multi-Family Dwellings with a maximum of six (6) dwelling units per building and 12 units per net acre.
- C. Planned development projects for residential use only. The procedure under Section 2.32 shall be followed.

All uses proposed in the Area Master Plan are within the permitted uses in the R-2 Medium Density Residential district.

Phase 3 includes the construction of the commercial area, including commercial outlots and a central anchor tenant(s) area. The commercial outlots would be located along McClelland Circle and Paynes Depot Road. The *Zoning Ordinance* includes the following description for the B-4 zone:

Community Commercial districts are those which provide for the sale of convenience goods such as food, drugs, hardware, and personal services, as well as professional services, banking, and recreation. These districts are intended to serve an extended neighborhood within the City. Community Commercial districts are not intended to attract consumers on a county- or region-wide level.

Community Commercial districts should promote community attractiveness by integrating with surrounding residential areas through pedestrian connections, landscaping, and screening.

The commercial outlot users referenced on the plan include, but are not limited to gas stations, restaurants, retail, medical offices, and banks; and the central anchor tenants referenced on the plan include, but are not limited to retail, home improvement, and superstore.

While the listed commercial operations are permitted in the B-4 zone, there are limitations on uses requiring/proposing a facility area greater than 100,000 square feet, uses which require a large outdoor surface area for the display of products, and those which require a large service area to be practicable (such as hotels, theme attractions, and/or malls). For those uses with buildings between 50,000 and 100,000 square feet, the requirements of the *Big Box Development & Regulations* are applicable. Important items of note include (but are not limited to) varying and high-quality exterior building design features and materials, roof line variations and the concealment of flat roofs with architectural features, distinct and well-defined entryways, installation of pedestrian walkways throughout the property, and the screening of the back and sides of buildings and storage, trash, and loading areas from rights-of-way and adjoining residential areas. These features are intended to enhance the commercial area creating a unified and aesthetically appealing campus for the community.

The final commercial users are to be determined, but Staff finds that they generally satisfy the requirements of the zoning district. As preliminary development plans are submitted for the central tenants or commercial outlots, the Planning Commission Staff will evaluate for appropriateness and compliance with the regulations.

Determination & Recommendation

Staff ultimately finds that the area master plan submitted satisfies the conditions of approval associated with the Zoning Map Amendment. The proposed uses are those permitted in the underlying zoning districts for the properties. Site design items such as landscaping, parking, roadway construction, and building layout will be reviewed as part of the preliminary development plan and/or subdivision plat process.

PRELIMINARY SUBDIVISION PLAT REVIEW

Planned Unit Development

Gaines Farm is a planned development project, otherwise known as a planned unit development (PUD). PUDs are flexible, non-Euclidean zoning mechanisms which promote the creation of open spaces, mixed-use housing and land-uses, environmental protection, and development flexibility. While the uses and density of development shall comply with the regulations set forth in the associated base zone (i.e. R-2), the way the uses are constructed and interact with one another is allowed additional options to create unique neighborhoods and communities. A planned-development project may depart from the literal conformance with the individual lot dimension and area regulations. A planned development project is subject to regulations in Section 2.32 of the Zoning Ordinance, excerpts of which are as follows:

- **Uses and densities:** The uses of premises and development densities shall conform with the permitted uses and densities of the zoning district in which it is located.
- **Standards:** In any planned-development project, although it is permissible to depart from the literal conformance with the individual lot dimension and area regulations, there shall be no diminution of total equivalent lot area, parking area and loading and unloading area requirement that would be necessary for the equivalent amount of individual lot development with one exemption; the Planning Commission may allow reductions in these requirements if the developer can satisfactorily prove that large scale development may permit such reductions without destroying the intent of these regulations.
- **Special Conditions:** The Planning Commission shall attach reasonable special conditions to insure that there shall be no departure from the intent of this Zoning Ordinance ... Because a planned-development project is inherently more complex than individual lot development and because each such project must be tailored to the topography and neighboring uses, the standards for such projects shall be flexible ... The Planning Commission may also attach any other reasonable special conditions.

Land Uses & Density

The proposed plan has an overall density 5.31 dwelling units per net acre of development, which is less than the standard 12 dwelling units per net acre set forth in the R-2 Medium Density Residential zone and less than the density. All uses proposed in the preliminary subdivision plat are within the permitted uses in the R-2 Medium Density Residential district.

Setbacks, Dimensions, & Standards

Pursuant to the *Zoning Ordinance*, a planned-development project may depart from literal conformance with individual lot dimension and area regulations. As referenced in the *Zoning Map Amendment Summary* (above), three waivers related to single-family detached residence construction were approved as part of the zone change application, specifically to permit minimum lot widths of 50 feet wide, minimum lot areas of 6,500 square feet, and front yard setbacks of 25 feet in depth.

The R-2 zone district is a medium density residential district with the following dimension and area restrictions. The following table lists the typical standards for the zone, the approved waivers associated with the Gaines Farm project, and the nearest existing neighborhood of McClelland View.

| | Typical Standards | Gaines Farm Approved Waivers | McClelland View Neighborhood (PSP-2006-30)² |
|----------------------------------|--------------------------|-------------------------------------|---|
| Zone | R-2 | R-2 PUD | R-2 PUD |
| Minimum Lot Area | 7,500 square feet | 6,500 square feet | 6,600 square feet |
| Maximum Density | 12 DU per net acre | 12 DU per net acre ³ | 12 DU per net acre |
| Maximum Building Coverage | 40% | 40% | 40% |
| Minimum Lot Width | 60 feet | 50 feet | 42.5 feet |
| Front Setback | 30 feet | 25 feet | 30 feet |
| Side Setback | 7.5 feet per side | 7.5 feet per side | 7.5 feet per side |
| Rear Setback | 25 feet | 25 feet | 25 feet |

Table 3 (above): Dimensional Standards for the R-2 Zoning District, Gaines Farm, and McClelland View

Items identified in yellow are those waivers which were approved as part of the Zoning Map Amendment from 2025.

Single-Family Detached Layout & Phasing

The plan proposes 254 single-family detached lots developed across two phases. The first phase contains 149 lots and would transverse along the Conservation (C-1) parcel from Paynes Depot Road to the northern property line, before transversing towards the eastern property line. The second phase contains 105 lots and would be central to the Phase 1 lots, between Phase 1 and the commercial and multi-family residential areas.

² The McClelland Springs neighborhood was approved in 2006 in conjunction with a section of the Buchanan Property located across the Bypass. Statistics utilized reference the collective neighborhood in accordance with the approved Preliminary Subdivision Plat (Buchanan Property, PSP-2006-30) and subsequent record plats for the neighborhoods.

³ The overall R-2 PUD density is capped at 6.25 DU per net acre across all housing typologies per the conditions of approval associated with the Zoning Map Amendment.

A summary of lot statistics overall and broken down into Phases 1 and 2 are as follows:

| | Overall | Phase 1 | Phase 2 |
|-------------------|-----------|-----------|-----------|
| Lot Count | 254 | 149 | 105 |
| Lot Areas | | | |
| Minimum | 6,415 SF | 6,425 SF | 6,415 SF |
| Average | 8,658 SF | 9,030 SF | 8,131 SF |
| Maximum | 30,328 SF | 30,328 SF | 17,514 SF |
| Lot Widths | | | |
| Minimum | 46 feet | 46 feet | 49 feet |
| Average | 60 feet | 59 feet | 61 feet |
| Maximum | 139 feet | 96 feet | 139 feet |

Table 4 (above): Summary of Lot Statistics Overall and By Phase

| Lot Areas | Count | Percent |
|--------------------------------|-------|---------|
| Less than 6,500 SF | 2 | 0.79% |
| Between 6,500 SF and 7,000 SF | 54 | 21.26% |
| Between 7,000 SF and 7,500 SF | 51 | 20.08% |
| Between 7,500 SF and 8,000 SF | 37 | 14.57% |
| Between 8,000 SF and 10,000 SF | 67 | 26.38% |
| Greater than 10,000 SF | 43 | 16.93% |

Table 5: Lot Areas by Count and Percent of Single-Family Detached Area

The lot areas are wide-ranging, with approximately 41% (105 lots) measuring between 6,500 SF and 7,500 SF. In light of this, however, the average lot area across both phases is 8,658 SF (or 8,857 SF for Phase 1.2 and 8,196 SF for Phase 2.2) which exceeds the minimum for the R-2 zone. Staff has identified several lots which do not adhere to the approved waiver for lot area, specifically lots 246 and 66. If the Preliminary Subdivision Plat was approved, Staff would advise that the lots in violation be brought into compliance regarding lot area.

| Lot Widths | Count | Percent |
|-----------------------------|-------|---------|
| Less than 50 feet | 4 | 1.57% |
| Between 50 feet and 55 feet | 125 | 49.21% |
| Between 55 and 60 feet | 25 | 9.84% |
| Between 60 and 65 feet | 26 | 10.24% |
| Between 65 and 70 feet | 16 | 6.30% |
| Greater than 70 feet | 58 | 22.83% |

Table 6: Lot Widths by Count and Percent of Single-Family Detached Area

A majority of the lots, approximately 60%, are within the 50-to-60-foot-wide lot width range. The average lot width across both phases is 60 feet, which is the minimum for the R-2 zone. While the lots are narrow when referring to lot width and road frontage, the average depth of the proposed lots is 141 feet, giving sufficient space for residences and appropriately sized yards. Staff has identified several lots which do not adhere to the approved waiver for lot width, specifically lots 59, 60, 61 and 171. If the

Preliminary Subdivision Plat was approved, Staff would advise that the lots in violation be brought into compliance regarding lot width.

Special Conditions

Open Space

As part of the zoning map amendment, the Planning Commission recommended in favor of the following special condition regarding open space:

- The Applicant shall provide a minimum usable open space of 10% of the total site area. The usable open space shall be improved and shall include only those amenities that are accessible to all residents and the general public. At least 50% of the usable open space shall be located outside the areas proposed to be rezoned to C-1 Conservation and said usable open space shall be located in the residential zoned areas. At least three connections shall be made from the residential areas to the C-1 area. A plan for usable open space, including amenities proposed in each area, shall be submitted as part of the Area Master Plan.

The preliminary subdivision plat shows one HOA lot, the Conservation area, and three connections from the single-family detached lots to the Conservation area. Furthermore, wider sidewalks (6-foot-wide versus the typical 4-foot-wide) with shade trees are proposed to guide residents towards the Conservation area.

The preliminary subdivision plat shows the construction of an open space trailway in the Conservation area. Staff recommends requiring the trailway construction be completed at the time that Phase 1 is platted, or prior to the platting of the 150th residential lot, whichever is first. Clear pathways, specifically the wider sidewalks with shade tree installation to the trail should be installed and extended to guide residents of the neighborhood to each of the three Conservation area access points. This would offer residents multiple options for utilizing the open space required for the total site area development. Tree plantings should be installed at time of lot platting. If a tree is removed as part of the construction of a residence, it is the responsibility of the home builder or their agent to replace the tree prior to issuance of the certificate of occupancy.

To protect the conservation communal amenities in the conservation area, Staff advises that a 4-to-6-foot-tall diamond mesh wire or equivalent no-climb wire fence along the property boundaries when adjoining Conservation (C-1) Lots 21 through 78 adjoin the Conservation zone so subsequently the final plat for those lots will need to reflect this requirement. Staff recommends an additional condition be established that the three conservation accessway lots shown between lots 29 and 30, 53 and 54, and 73 and 74 be required to install a minimum 4-foot-tall fence denoting the location of the accessway along the respective lot side yards. The 4-foot-tall fence shall be connected to the aforementioned conservation zone fence and the 6-foot-tall no-climb agricultural zone fence required for the residential lots. The additional fencing would ensure that the access easements are clearly defined and not imposed upon by residential uses, thus protecting its continued use as access to the neighborhood's open space amenity.

Landscape & Land Use Buffers

Section 6.12 & 6.14: Perimeter & Agricultural Buffering Requirements

The *Landscape & Land Use Buffers Ordinance* requires a 50-foot-wide buffer area along the property perimeter landscaping for all residential zones which adjoin agricultural zones, and for those areas to be populated with 1 large tree per 40 feet of linear boundary planted 35 feet from the property line (Section 6.12.9). In addition, the *Ordinance* also requires the installation of a minimum 6-foot-tall diamond mesh wire or equivalent no-climb wire fence along the property boundaries when adjoining Agricultural (A-1).

Lots 14 through 21, 79 through 87 and 126 through 140 (or applicable) adjoin Agriculturally zoned properties, and the preliminary subdivision plat reflects this requirement. The final subdivision plat for these lots must include a species-specific landscape plan reflecting the planting requirement.

Staff is aware that the temporary construction access route from McClelland Circle is shown which adjoins an agriculturally (A-1) zoned property. In the interest in protecting agricultural use while simultaneously considering that this is a temporary construction access route, Staff recommends a condition of approval that a fence be installed along the periphery of the temporary construction access route as part of the recording of the final subdivision plat. A note regarding maintenance of said fence for its duration shall be included on the plat. Furthermore, Staff recommends a second condition of approval be that the 6-foot-tall fence pursuant to section 6.14 be required with the civil engineering plans for full-access public road from McClelland Circle and installed prior to the start of road construction if the adjoining property in question is zoned agricultural at time of plan submittal.

Section 6.13: Vehicular Use Area Perimeter Requirements

The regulations of Section 6.13 are not applicable.

Section 6.22: Interior Landscaping for Vehicular Use Areas

The regulations of Section 6.22 are not applicable.

Section 6.2215: Minimum Canopy Requirements

Total, post-development tree canopy requirements are on a stepped scale depending on the land use and volume of tree canopy preserved through development. As a single-family residential use, a range of 10% to 15% of the site area must be under tree canopy, as determined by the volume of existing tree canopy retained post-development. With a total single-family detached (R-2 PUD) site acreage of 62.61 acres and only 0.4 acres being preserved (equivalent to 0.6%), 15% of post-development site canopy is required. At the time of plat submittal, the canopy coverage associated with required landscape buffering and shade trees for the widened sidewalks are not provided. For the canopy planted to be credited, it shall be located within the areas zoned R-2 PUD. The final subdivision plat for the single-family detached residential area shall satisfy the 15% canopy requirement as set forth in the *Landscape & Land Use Buffers Ordinance* and shall include the species utilized. A note shall be included on the plat to ensure that trees are not to be removed as part of the home construction process nor during the duration of home ownership post construction. Staff shall perform a site visit to ensure compliance with this condition as deemed appropriate.

Engineering & Design Requirements

The preliminary grading plan for the single-family detached residential area has been submitted with the preliminary subdivision plat. Staff has identified that there is a potential karst area across lots 162-165 where the anomaly is shown by existing contours. If approved, staff recommends a condition of approval which would require that the area to be studied and any remedial action documented prior to construction in the area.

The preliminary subdivision plat does not include a stormwater management plan for the Gaines Farm Development Area. The stormwater management plan must meet all requirements of the *Regulations*. A memorandum has been prepared articulating the requirements of the adopted ordinances.

Concluding Comments

The *Zoning Ordinance* states that a planned development project or planned unit development may depart from literal conformance with individual lot dimensions and area regulations if the developer can satisfactorily prove that the waivers requested do not diminish the intent of these regulations. All uses

proposed in Gaines Farm are permitted by-right. Staff finds that the application satisfies its' zoning map amendment's conditions of approval as the traffic impact study and its addendum has been found to meet the requirements of the adopted *Traffic Access and Impact Study Guidelines and Procedures*. After thorough review of the preliminary subdivision plat and associated area master plan, Staff finds that the application meets the requirements set forth in the adopted regulations for planned unit developments and recommends in favor of the preliminary subdivision plat subject to the findings, waivers, and conditions of approval below.

FINDINGS

1. Staff finds that the Preliminary Development Plan for Gaines Farm is consistent with the approved R-2 PUD zoning and the Concept Plan approved by the Planning Commission on February 13, 2025.
2. Staff finds that the total number of dwelling units, building coverage, and overall site density comply with the maximum density permitted in the R-2 zoning district, with a proposed net residential density of 5.31 units per acre, which is below the 12 units per acre maximum.
3. Staff finds that the subdivision plat provides appropriate access to 40.44 acres of open space in the Conservation area, while also providing internal expanded sidewalks with canopy and an HOA pocket park, exceeding the minimum ten percent requirement for PUD as set forth in the zoning map amendment, and that the proposed open space network, including designated open space lots, greenways, and conservation areas, supports the goals of the adopted Comprehensive Plan. The areas within the floodplain and along Cane Run are appropriately designated as C-1 Conservation and that development within or adjacent to these areas will be subject to applicable floodplain regulations and permitting requirements.
4. Staff finds that property perimeter buffers and tree canopy coverage are generally shown on the plans and can be reviewed for full compliance with the Landscape and Land Use Buffer Ordinance at the Final Subdivision Plat stage.
5. Staff finds that stormwater management, utility service, and fire protection can be adequately provided to serve the proposed development, subject to approval by the appropriate agencies and compliance with all Technical Review Committee comments.

PRELIMINARY SUBDIVISION PLAT RECOMMENDATION

Staff recommends **Approval** of the Gaines Farm Preliminary Subdivision Plat for 254 single-family detached lots, 1 HOA pocket park, 3 connections to the conservation district open trail parcel, and 20-foot-wide mulched walking path as well as for the Area Master Plan. If the Planning Commission approves the application, Staff advises the following waivers and conditions of approval:

Planned Unit Development Waivers:

1. Reduce minimum lot widths for single-family lots to 50-foot-wide.
2. Reduce front yard setback for single-family lots to 25 feet.
3. Reduce the minimum lot area for single-family lots to 6,500 SF.
4. Increase the density of the apartment areas and decrease the density of the single-family areas, resulting in the overall R-2 PUD area not to exceed 6.25 units per acre.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance, Subdivision and Development Regulations, and Landscape & Land Use Buffers Ordinance*.
2. All conditions of approval from ZMA-2024-68.
3. The applicant shall be responsible for all offsite road and public water and sewer improvements required to serve the proposed development.
4. Any revisions or amendments to the approved Preliminary Subdivision Plat shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
5. This Preliminary Subdivision Plat approval is valid for two years, subject to the requirements of Article 406 section A of the Subdivision and Development Regulations.
6. Prior to any construction or grading, all required construction plans shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
7. Prior to (as part of) the Final Subdivision Plat approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
8. Per City Ordinance 15-014, documentation of an HOA, open space maintenance, and common scheme of development for the Gaines Farm Single-Family phases are required prior to or simultaneous to recording of the Final Plat.
9. The final subdivision plat shall satisfy all requirements of the Georgetown Fire Department and all other area service providers.
10. The final subdivision plat shall satisfy all requirements of all area utility providers.
11. All roadways shall satisfy all applicable regulations and requirements regarding construction and design.
12. The Applicant shall obtain KYTC encroachment approval for off-site roadway improvements prior to construction plan approval or grading.
13. Road improvements required to serve the development shall be the responsibility of the applicant and shall be completed prior to Final Plat approval.
14. Prior to the initiation of Phase 2, or prior to the recording of the 150th lot, whichever is first, the applicant shall provide an updated traffic impact study identifying the levels of service of all intersections analyzed in the traffic impact study report dated February 2025 and including the connection with Leota Way.
15. Upon full-build out, the development access with McClelland Circle shall not perform less than a Level of Service C overall.
16. Upon full-build out, the development access with Paynes Depot Road shall not perform less than a Level of Service C overall.
17. The Applicant shall be subject to the recommendations and conclusions associated with the submitted traffic impact study and its submitted addendum.
18. The second full-access connection to an existing public roadway (McClelland Circle, Paynes Depot Road or Leota Way) shall occur prior to the recording of the 150th single-family residential lot.
19. Applicant shall follow all requirements of the Environmentally Sensitive Lands Ordinance.

20. All identified potential karst areas, including but not limited to the area located around Lots 162-165, shall be studied and any remedial action documented prior to construction in the area.
21. All required and preserved plantings and buffering shall be indicated on the Final Subdivision Plat(s), including but not limited to species and location.
22. All open spaces shall be platted at or before the entirety of phase 1 is platted, or prior to the recording of the 150th lot, whichever is first.
23. The trail in the Conservation area (zoned C-1) shall be constructed and completed at such time that phase 1 is platted, or prior to the recording of the 150th lot, whichever is first.
24. The final subdivision plat shall include a defined tree protection easement for the street/shade trees. If a tree is removed as part of the construction of a residence, utilities, or other site development, it is the responsibility of the developer or developer's agent to replace the tree prior to the issuance of the certificate of occupancy for the applicable residence. The shade tree planting shall be managed and maintained by the Homeowners Association. In the absence of an HOA, the maintenance and management of the tree planting shall be the responsibility of the developer or developer's agent. A note shall be on the plat requiring definition, protection and replacement of all required plantings detailing these requirements.
 - a. The minimum width of the tree protection easement with a minimum width of 8 feet.
 - b. The tree protection easement shall not include any utilities outside of underground laterals from the central lines to the residence unless approved by Planning Commission Executive Committee.
 - c. Street/shade trees shall be installed pursuant to the locations identified on the preliminary subdivision plat at the time of lot platting with the associated phase within which they are shown at a frequency of no less than one tree per 55 linear feet of road frontage.
 - d. The final subdivision plat shall include a species-specific landscape plan for all shade tree plantings.
25. The final subdivision plat shall include all required fencing and plantings along the agricultural (A-1) boundaries as described in the staff report. The final subdivision plat shall include a defined buffer area measuring at least 50 feet, within which no accessory structures, including, but not limited to, private pools, recreational equipment, or sheds are permitted. Fencing and buffer plantings shall be installed pursuant to Section 6.14 and Section 6.12 of the *Landscape & Land Use Buffers Ordinance*, respectively. The plat shall also include a species-specific landscape plan for all required agricultural (A-1) buffer plantings. If a tree or fencing is removed as part of the construction of a residence, utilities, or other site development, it is the responsibility of the developer or developer's agent to replace the tree prior to the issuance of the certificate of occupancy for the applicable residence. The agricultural buffer planting and fencing shall be managed and maintained by the individual lot owner after issuance of the certificate of occupancy. A note shall be on the plat requiring the care, protection, and replacement of all required plantings and fencing detailing this requirement.
26. The final subdivision plat shall include all required fencing along the conservation (C-1) boundaries as described in the staff report. The final subdivision plat shall include a defined buffer area measuring at least 25 feet, within which no accessory structures, including, but not limited to, private pools, recreational equipment, or sheds are permitted. Fencing shall be installed pursuant to Section 6.14 of the *Landscape & Land Use Buffers Ordinance*. If a fencing is removed as part of the construction of a residence, utilities, or other site development, it is the responsibility of the developer or developer's agent to replace the tree prior to the issuance of the certificate of occupancy for the applicable residence. The fencing shall be managed and

maintained by the individual lot owner after issuance of the certificate of occupancy. A note shall be on the plat requiring the care, protection, and replacement of all required fencing detailing this requirement.

27. The three conservation accessway lots, located between lots 29 and 30, 53 and 54, and 73 and 74, shall be platted as individual lots independent of the conservation (C-1) area prior to completion of phase 1, or prior to the recording of the 150th lot, whichever is first.
28. All conservation accessway lots shall have a minimum four-foot-tall fence denoting the location of the accessway along the respective lot side yards, not including where the lot adjoins the C-1 district or road frontage. The four-foot-tall fence shall be connected to the six-foot-tall no-climb Conservation fence required for all residential lots adjoining the C-1 zoning district. All fencing shall be installed prior to completion of phase 1, or prior to the recording of the 150th lot, whichever is first. If fencing is removed or damaged as part of the construction of a residence, utilities, or other site development, it is the responsibility of the developer or developer's agent to replace the fence prior to the issuance of the certificate of occupancy for the applicable adjacent residence. The conservation accessway lots and associated fencing shall be managed and maintained by the Homeowners Association. In the absence of an HOA, the maintenance and management of the conservation accessway lots and fencing shall be the responsibility of the developer or developer's agent. A note shall be on the plat requiring protection and replacement of all required conservation accessway lot maintenance and associating fencing detailing this requirement. A note shall also denote the accessway lots as non-buildable.
29. Upon the completion of Phase 1, or before the platting of the 150th residential lot, the developer or developer's agent shall construct and install the conservation trailway open space amenity located in the conservation (C-1) area. A plat indicating trailway location, easement, and any associated plantings shall be recorded. If a fencing is removed as part of the construction of a residence, utilities, or other site development, it is the responsibility of the developer or developer's agent to replace the tree prior to the issuance of the certificate of occupancy for the applicable residence. The conservation open space and trailway shall be managed and maintained by the Homeowners Association. In the absence of an HOA, the maintenance and management of the conservation open space and trailway shall be the responsibility of the developer or developer's agent.
30. The pocket park (Lot 214) shall be platted as an individual lot as part of the platting of phase 2. The pocket park shall be managed and maintained by the Homeowners Association. In absence of an HOA, the maintenance and management of the fence and pocket park shall be the responsibility of the developer or developer's agent. A note shall be included on the plat regarding the maintenance responsibilities associated with pocket park (Lot 214). A note shall also denote the pocket park as non-buildable PUD open space.
31. Construction plans for the temporary construction access route shall be submitted prior to utilization of the route and shall include a 6-foot-tall fence constructed to the standards of Section 6.14 of the *Landscape & Land Use Buffers Ordinance*, along the agriculturally (A-1) zoned property to the north. The fence shall be installed prior to the start of full-access public road construction. A note regarding maintenance of said fence for its duration shall be included on the plat.
32. The civil engineering plans for the construction of a full-access public road from McClelland Circle shall include a 6-foot-tall fence, no-climb fence along the agriculturally (A-1) zoned property.

33. The 62.61-acre area of the Gaines Farm property designated for single-family detached residential shall have a collective tree canopy across all final subdivision plats recorded of at least 15% of the defined area as required by the *Landscape & Land Use Buffers Ordinance*. Canopy shall be distributed evenly across all phases and areas of development. Statistics regarding each sub-phase's total canopy overall site canopy over time shall be included on all plats. All required canopy shall be installed prior to the issuance of the certificate of occupancy. If a canopy tree is removed as part of the construction of a residence, utilities, or other site development, it is the responsibility of the developer or developer's agent to replace the canopy tree prior to the issuance of the certificate of occupancy for the applicable residence. Any additional plantings required associated with this condition shall be identified on the associated lot's plat, including but not limited to location, species, and count. The canopy tree planting shall be managed and maintained by the individual lot owner. A note shall be on the plat requiring care, protection and replacement of all canopy tree plantings detailing these requirements.



NOTES:
 USES SHOWN ON THE B-4 LOTS ARE SUBJECT TO CHANGE, BUT PERMISSIBLE WITHIN THE ZONE.
 THERE IS A 15' LANDSCAPE SCREENING COMPONENT WITHIN THE 50' BUFFER ADJOINING AGRICULTURAL ZONES.
 THE C-1 LAND CAN FULFILL 50% OF THE OPEN SPACE REQUIREMENTS FOR THIS DEVELOPMENT. PEDESTRIAN TRAILS WILL COUNT TOWARDS THE OPEN SPACE. OPEN SPACES SHALL BE SHARED ACROSS ALL PHASES AND BE 10% OF THE TOTAL SITE.



PUD MINIMUMS PER ZONE CHANGE:
SINGLE FAMILY:
 LOT WIDTH - 50'
 LOT SIZE - 6,500 S.F.
 FRONT YARD - 25' SETBACK
 SIDE YARD - 7.5' SETBACK
 REAR YARD - 25' SETBACK
MULTI-FAMILY:
 BUILDING HEIGHT - 3-STORY (40')
 UNITS PER BUILDING - 25
 DENSITY - 25 UNITS PER NET ACRE
 FRONT YARD - 25' SETBACK
COMMERCIAL (B-4)
 ONE HOTEL USER SHALL BE PERMITTED.
 McLELLAND CIRCLE SHALL NOT BE CONSIDERED FRONT YARD.

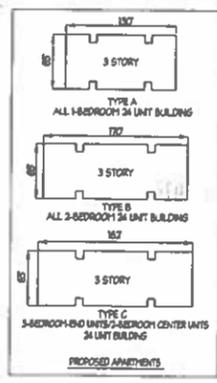
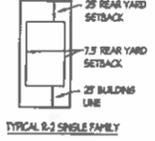
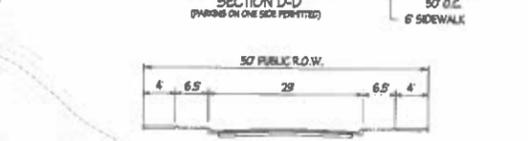
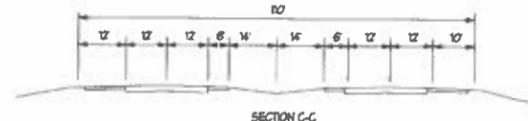
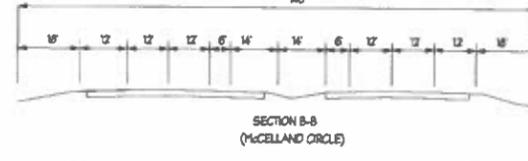
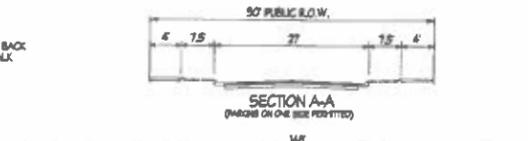
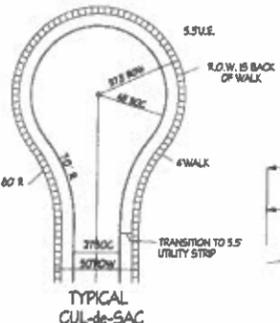
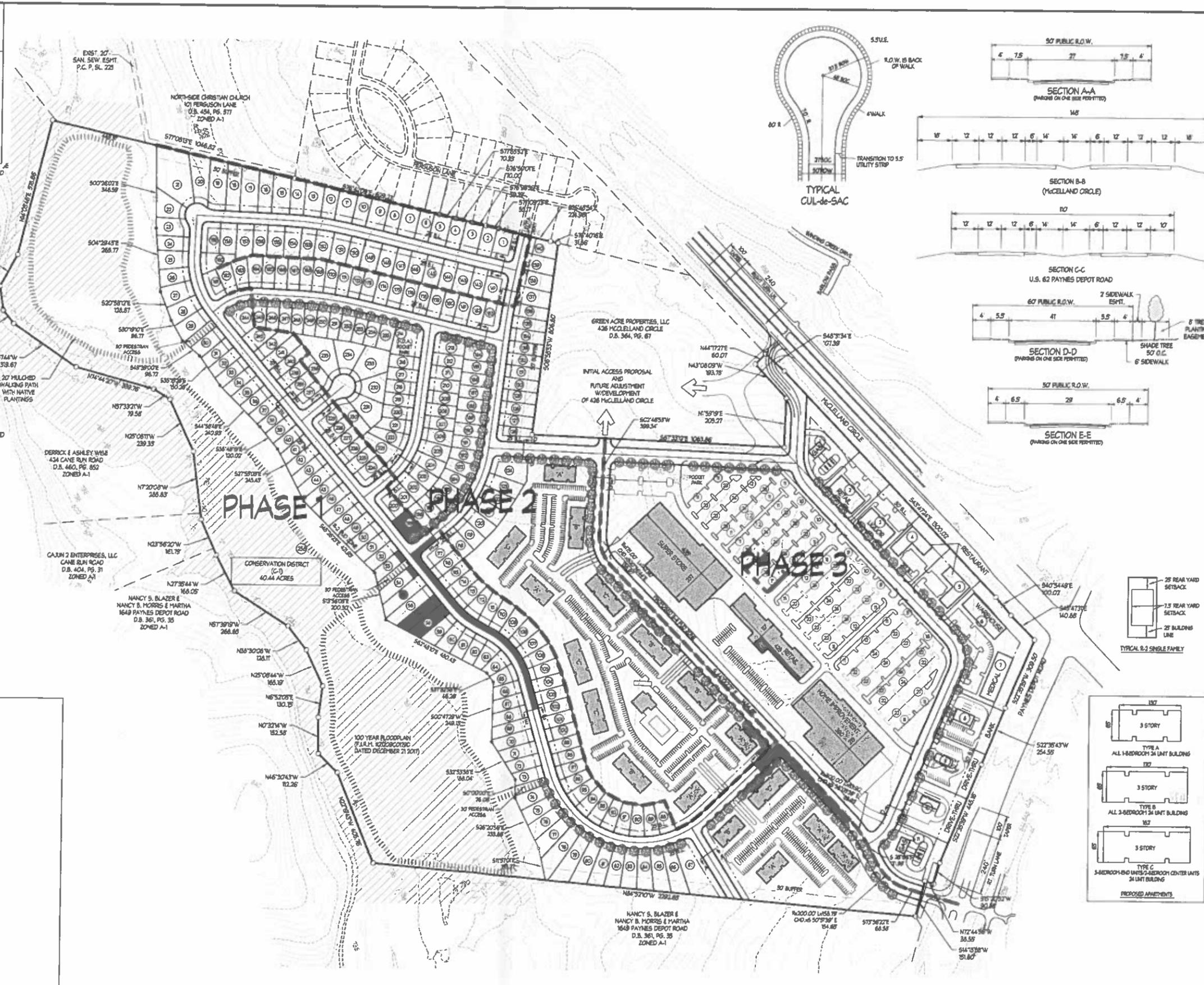
SITE STATISTICS PER ZONE CHANGE:
 TOTAL AREA = 180.45 ACRES GROSS & 114.75 ACRES NET
 EXISTING ZONE = RESIDENTIAL (R-2 PUD), COMMUNITY COMMERCIAL (B-4 PUD) & CONSERVATION DISTRICT (C-1)
 PROPOSED USABLE OPEN SPACE = 10% OF 114.75 NET ACRES

NEIGHBORHOOD BUSINESS (B-4 PUD)
 AREA = 52.80 ACRES GROSS & 45.51 ACRES NET
 AREA OF PROPOSED R.O.W. = 3.95 ACRES
 NO. OF LOTS = 12
 LENGTH OF STREET = 4,874'

SINGLE FAMILY (R-2) PUD:
 AREA = 70.21 ACRES GROSS & 70.50 ACRES NET
 AREA OF PROPOSED R.O.W. = 12.81 ACRES
 NO. OF LOTS = 251 BUILDABLE
 RANGE OF LOT SIZES = 50', 53', 60', 70' & 75'X100'
 LENGTH OF STREET = 9,809' L.F.
 DENSITY = 3.6 LOTS/NET ACRE

APARTMENTS (R-2) PUD:
 AREA = 18.26 ACRES (LOT 256 & 257)
 NO. OF BUILDINGS = 17
 NO. OF UNITS = 426 (166 - 1 B.R., 166 - 2 B.R., 46 - 3 B.R.)
 DENSITY = 23.32 UNITS/NET ACRE
 PARKING REQUIRED = 652 SPACES
 (1.5 SPACES PER 1 B.R. & 2.5 SPACES PER 2 & 3 B.R. UNITS)
 PARKING PROVIDED = 901 SPACES

CONSERVATION DISTRICT:
 NO. OF LOTS = 1 (254)
 AREA = 40.44 ACRES

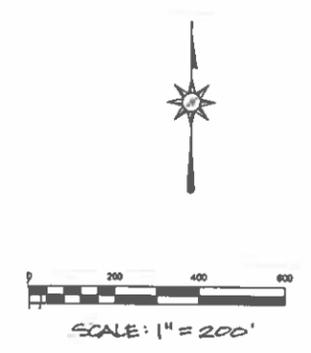


EA Partners, PLLC
 CIVIL ENGINEERS • LAND SURVEYORS • LANDSCAPE ARCHITECTS
 LEONARD MONTICELLI, AIA
 ARCHITECT
 1367 PAYNES DEPOT ROAD
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 PHONE: (606) 259-9887

MASTER PLAN
GAINES FARM PROPERTY
 1367 PAYNES DEPOT ROAD
 LEXINGTON, FAYETTE COUNTY, KENTUCKY

DRAWN **LLW**
 DATE **01/28/26**
 CHECKED _____
 REVISED _____

SHEET



PRELIMINARY GRADING PLAN

GAINES FARM PROPERTY

1367 PAYNES DEPOT ROAD, LOTS 2 & 3
 GEORGETOWN, SCOTT COUNTY, KENTUCKY

KNIGHT HALL PRELIMINARY DEVELOPMENT PLAN

Staff Report for the Georgetown-Scott County Planning Commission
March 12, 2026

FILE NUMBER: PDP 2026-07

PROPOSAL: Preliminary development plan for the renovation and new addition to Georgetown College Knight Hall

LOCATION: 315 E College St.

OWNER: Georgetown College

APPLICANT: Jim Harkin

CONSULTANT: Giorgio Nardi
Kleingers Group



STATISTICS:

| | | | |
|---------------------|----------------------------|---------------------|----------------|
| Total Site Acreage: | 2.67 | Existing Footprint: | 15,037 sq. ft. |
| Existing Zone: | R-2 | Proposed Addition: | 4,438 sq. ft. |
| Surrounding Zones: | R-2, B-3 | Proposed Footprint: | 19,475 sq. ft. |
| Proposed Use: | Residential Hall | Existing Coverage: | 12.63% |
| Access: | E. College Street | Proposed Coverage: | 16.34% |
| Proposed Parking: | 102 spaces (7 handicapped) | | |
| Proposed Canopy: | 0.566 acres (22.2%) | | |

Variance and Waiver Requests:

- Variance from height restriction of two stories or 30 feet in the R-2 zoning district.
- Variance from rear yard setback requirement of 25 feet in the R-2 zoning district.
- Waiver of parking requirement of two spaces for the owner occupant and one space for each occupant in a boarding house.

BACKGROUND

The 2.67-acre project site is located at 315 E College Street, is zoned R-2 (Medium Residential), and is adjacent to the Central Business District (B-3) just to the west. The Mary Frances Knight Hall for Women was erected in 1959 as part of an expansion of the Georgetown College campus and student housing between the late 40s and early 70s. Mary Frances Knight was the mother of LB Knight, a Greenville, KY businessman who contributed to the hall's construction as well as to that of the classroom area of John L Hill Chapel in 1949 (renamed Knight Hall in his honor). As college enrollments increased in the post-war boom, the Hall was expanded in 1960 and continued to house female students until approximately a decade ago when, because of the costliness of substantial renovations that were needed, it was closed

to students while retaining limited use for offices. Currently, with the college's financial situation greatly improved, enrollments increasing, and new programs designed to attract still more students in the works, the need for more dormitory space is prompting a major effort to renovate and reopen the dormitory.

The property is owned by Georgetown College. Water and sewer are within the Georgetown Municipal Water and Service (GMWSS) service area, and electricity is available through Kentucky Utilities Company.

PLAN REVIEW

Use

The proposal is for the expansion of the existing functionality of the structure for on-campus student housing. Neither dormitory nor residence hall are listed in the Georgetown-Scott County Zoning Ordinance as a permitted or conditional use in any zoning district. The R-2 zoning district allows for multifamily dwellings with a maximum of six dwelling units per building and twelve units per net acre. The R-2 also allows for four or more sleeping rooms as a conditional use (Section 4.37). A *sleeping room* is defined as a single room rented for dwelling purposes but without the amenities for separate and independent housekeeping (Section 2.1). Bed and Breakfast is also permitted as a conditional use in the R-2 zoning district. Bed and Breakfast is defined as an existing house, or portion thereof, where short-term sleeping rooms and limited provision for meals are offered, the use is incidental to the residential use of the property, and the short-term lodging period may not exceed 15 days. Of the uses addressed in our zoning ordinance, sleeping room most closely matches the historical and proposedly continued use. This use was put into effect at this site prior to current zoning regulations, and Staff has determined that a conditional use permit is not required for this project.

Building Layout and Site Configuration

The proposed addition will match the height and architectural style of the existing structure, will facilitate the creation of a courtyard on the eastern side of the building, and will be composed of three stories that are to include a staff apartment on the first floor; eleven, two-bedroom dorm rooms on the second floor; and eleven, two-bedroom dorm rooms on the third floor for a total of 45 additional beds. The occupancy capacity of the facility will increase from 265 to 310.

The main entrance into the facility is on the south side of the building where there is a circle drive from E College Street. There is currently a small parking area on the west side of the building and a larger parking area to the east. The eastern lot has a separate entrance and currently encroaches into a privately-owned residential property to the north. The proposed reconfiguration of the site will include removal of the circle drive, moving the main entrance from the south side of the building to its east side through a courtyard, and decreasing the area of the eastern parking lot.

The R-2 zoning district allows for a building height maximum of two stories or 30 feet and requires a 25-foot rear yard setback for main structures. The height of the existing and the proposed addition is 48 feet and 3 inches. To mirror the existing southern wing of the building, the proposed addition will encroach 7 feet into a portion of the northern boundary line and 17 feet into a north-south running segment of the northern boundary line adjacent to an existing cemetery. The applicant is requesting variances for relief from these dimensional limitations.

The Georgetown-Scott County Zoning Ordinance defines dimensional variances as the following:

Departure from the terms of the zoning regulations pertaining to height or width of structures and size of yards and open spaces where such departure will not be contrary to the public interest, so long as surrounding property owners are not damaged or the character of the neighborhood is not changed, and where owing to conditions peculiar to the property because of its size, shape or topography and not as a result of the action taken after the adoption of the original Zoning Ordinance in 1958, the literal enforcement of its zoning regulations would result in unnecessary and undue hardship. Financial disadvantage to the property owner shall not necessarily constitute proof of unnecessary hardship within the purpose of zoning.

Variance Request 1: The applicant requests an 18-foot, 3-inch variance from the height restriction of two stories or 30 feet in the R-2 zoning district, citing that the plan is for the addition to match the existing height and style providing uniformity to the building and that unnaturally lowering the building below this requirement would look odd in the neighborhood. A matching of the proposed addition in height and style to the existing structure will provide uniformity to the building, and that unnaturally lowering the building below this requirement would look odd in the neighborhood.

Staff is of the opinion that the requested variance will not adversely affect public health, safety, or welfare; will not alter the essential character of the general vicinity; will not cause a hazard or nuisance to the public; and will not allow an unreasonable circumvention of the requirements of the zoning regulations. Staff further posits that strict application of the height restriction – by requiring that a residential addition create architectural asymmetry to the existing structure – would adversely impact the essential character of the neighborhood, that it would deprive the applicant of the reasonable use of the land by unnecessarily limiting the scope of the proposed expansion, and that it would result in undue and unnecessary hardship by limiting the college's capacity to respond to growing need for campus housing. Staff recommends approval of this request.

Variance Request 2: The applicant is requesting a 7-foot variance from the rear yard setback for the segment adjacent to the property to the north addressed 356 E Main Street (Parcel 166-40-216.000) and a 17-foot variance from the rear yard setback for the segment adjacent to an existing, small cemetery (Parcel 166-40-264.001). The applicant provides the following justification for this request:

To mirror the southern wing appropriately we encroach the 25' setback from the cemetery (8') and a neighbor to the north (20' [**18'**]). The architectural team has sized this building to include appropriate hallway sizes and dorm rooms, which can put constraints on the building size and layout. Additional shifting or building footprint adjustments would make for odd angles and configurations to meet this setback requirement. The 8' distance to the cemetery setback is due to a proposed portico. This door is meant to become the main entrance to this building. The portico will provide cover for students. Additionally, the neighbor to the north has a fence along their property to allow for separation between the two properties.

** Updated calculation following revision of the site plan.*

Regarding the requested 7-foot variance, the distance from the proposed building addition to the nearest structure on Parcel 166-40-216.000, a detached garage, is approximately 75 feet. The distance to the rear of the residential structure on this northerly parcel is approximately 170 feet. Regarding the requested 17-foot variance to Parcel 166-40-264.001, this is the Tarlton Cemetery, in which, according to a 1992 survey by the Scott County Genealogical Society, there is only one headstone, that of Mary Ann Tarlton, who passed away in 1841. No fence to separate this parcel, which is less than 900 square feet, from the applicant parcel and the Georgetown College campus in general, is proposed, allowing it to remain as a heritage-based amenity.

As with the requested height variance, staff asserts that the requested setback variances will not adversely affect the public health, safety, or welfare; will not alter the essential character of the general vicinity; will not cause a hazard or nuisance to the public; and will not allow an unreasonable circumvention of the requirements of the zoning regulations. Staff further posits that that the proposed setback variances would not result in adverse impacts to the adjacent properties and that strict application of the 25-foot setback requirement would deprive the applicant of the reasonable use of the land, and that it would result in an undue and unnecessary hardship for the same reasons mentioned above.

Access & Circulation

Vehicular access and circulation will largely remain unchanged from its current state. Two parking lots are available on this site, one on the west side of the building and the other on the east. With the removal of the circular drive to the south of the building, access to the west parking lot will be modestly altered but will remain from E College Street. The east parking lot has a separate, singular access point, also from E College Street, and two modifications are proposed.

One proposed modification is to resurface and reconfigure the parking spaces in the southwest corner of the east lot. The reconfiguration will reduce the number of parking spaces from 13 to 9 in this section, but it will bring all of the ADA compliant spaces in this lot closer to the building entrance and the spaces will be sized to meet regulatory requirements. The other proposed modification is to remove the northern portion of the lot that is on an adjacent property, which will decrease the final number of parking spaces. The remainder of the lot, including the drive aisles, will remain as is.

It is assumed that most of the movement onto and off of the site will be nonvehicular as students go to classes and then return. The proposed improvements include not only the relocation of ADA compliant parking closer to a building entrance but also a substantial increase in the number of multi-directional sidewalks and the number of access points to the facility.

Traffic Generation

The Institute of Transportation Engineers (ITE) trip generation calculator (9th Edition) provides an estimate of vehicle trips generated for universities/colleges based on number of students. The table below shows the estimated trips resultant from the facility, including the weekday AM and PM peak hours and the average daily trips on weekdays and on Saturdays.

| | Rate / Student | Trips / 265 Students | Trips / 310 Students |
|----------------|----------------|----------------------|----------------------|
| Sat. Avg. Dly. | 1.31 | 347.15 | 406.1 |
| Wkd. Avg. Dly. | 1.71 | 453.15 | 530.1 |
| Wkd. AM Peak | 0.14 | 37.1 | 43.4 |
| Wkd. PM Peak | 0.15 | 39.75 | 46.5 |

Regulations establish that a traffic access and impact study shall be required when the total estimated average peak hour trip ends equals 100 or more. As the estimated peak hour trips fall below the threshold, a traffic study is not required for the proposed project.

Parking

The most proximate parking availability for Knight Hall residents includes its western lot, with 23 spaces (of which 2 are ADA compliant), and its eastern lot, with 114 spaces (of which 2 are ADA compliant). A 2020 Parking Lot Audit of the campus characterized the western lot as having a surface in fair condition but with poor markings and the eastern lot as having a surface in poor to fair condition but also with poor markings. The western lot is to remain unchanged with the proposed development, but the eastern lot is to be reduced as the portion of the existing lot that stretches on to an adjacent property to the north is to be removed. With the proposed development, the number of on-site parking spaces will decrease from 137 parking spaces (of which 4 are ADA compliant) to 102 parking spaces (of which 7 are to be ADA compliant). With the proposed improvements, the occupancy capacity of Knight Hall will increase from 265 to 310.

As previously mentioned, neither dormitory nor residence hall are listed in the Zoning Ordinance as permissible or conditional uses, and the nearest term that is included is "sleeping rooms", which is defined as a single room rented for dwelling purposes but without the amenities for separate and independent housekeeping. This use is not included in the Subdivision and Development Regulations for the determination of parking space requirements, and "Boarding House" is the most synonymous use listed,

given that, unlike hotels and bed and breakfasts, it is not subject to a limit to duration of stay by definition. In fact, a definition of "Boarding House" is not present in our zoning ordinance.

The minimum parking spaces required for this use is 2 spaces for the owner occupant and one space for each roomer. With 310 beds, one of which is to be a staff apartment, a minimum of 311 parking spaces for the proposed development is required. The resultant parking available on these two lots once the renovation and the addition is completed will be 102 spaces, leaving the site 209 spaces shy of the required number for a boarding house.

Waiver Request: The applicant is requesting a waiver of the parking requirement of two spaces for the owner occupant and one space for each occupant in a boarding house, reasoning that not every occupant of the residential hall will have a car and that additional parking spaces can be found elsewhere on campus or off campus.

Although Staff asserts the parking space requirement for that use makes at least three assumptions that may not be applicable to the Georgetown College campus:

1. A boarding house and a college residential facility are the same in regard to their respective arrangements and the needs of the occupants. Staff postulates that this is not the case and asserts that the two methods of housing differ in terms of scale, length of stay, and spatial association with the prime occupational focus of the tenants.

Historically, a boarding house has been a family home in which lodgers rented one or more rooms on a nightly or extended basis. Limited meals were often included with the accommodation, and common parts of the house and services were provided by the house owner/manager. Boarding houses were common in most cities throughout the 19th century, and between 1/3 to 1/2 of the urban dwellers either rented a room to boarders or were boarders themselves. These arrangements provided additional income to homeowners; they made it feasible for people to move from rural settings into the cities during the period of industrialization; and they helped stir the melting pot of the social milieu. The boarders ranged from well-off businessmen to poor laborers, and the reputability of boarding houses varied widely. There was limited to no spatial relationship between the location of boarding houses and the employment opportunities of the boarders, and transit to-and-fro was left to individuals to resolve. By the 1950s, the post-war boom ushered in a decline in boarding houses as new arrivals to the cities could afford their own home or apartment.

As previously mentioned, "Boarding Houses" is not a defined use in the Zoning Ordinance, and "sleeping rooms" appears to be the closest equivalent. Although the definition does not designate a maximum number of lodging days, "sleeping rooms" are associated with hosted, home sharing, short-term rentals, for which the allowable tenancy is to be less than 30 days. By the same regulations, a "Bed and Breakfast" is defined as an existing house, or portion thereof, where short-term sleeping rooms and limited provision for meals are offered, the use is incidental to the residential use of the property, and the short-term lodging period may not exceed 15 days.

Student accommodations date back to 5th century India but made their appearance in the U.S. in the main buildings of early colonial colleges, such as William & Mary and Princeton. The first primarily residential building (space was shared with a printing press) was with the Harvard Indian College (1650), and the first exclusively residential building was Harvard University's Stoughton Hall (1698). Residential halls typically accommodate two or more students per room, the bathrooms are communal, and the average number of bedrooms per hall exceeds 20 units. They are located on or much closer to campus than private housing, and they have historically been segregated by sex, although newer campus residential facilities offer co-ed, single rooms, and private bathrooms. The main campus of Georgetown College has 14 traditional residence halls, including nine social organization halls, two townhouse-style residence halls, and apartment-style living on East Campus.

Unlike non-academic-based housing (which may include houses, apartments, boarding houses, etc.) residential halls are associated with a singular institutional body that physically draws in a major portion of its productive output, that being a better-informed and technically skilled graduate. Residential proximity to the productive space (the campus) is a paramount feature, and there is a cultural tradition and an infrastructure of amenities and services that promote and support "campus life". Tenancy is typically by length of an academic year or semester. In contrast, the spatial and temporal relationships between non-academic-based housing and places of employment has largely been diffused and not causal, meaning that choice and duration of housing may be tied to something other than proximity to one's primary daytime activity.

2. Each person residing in a boarding house or residence hall has at least one vehicle.

Regardless of the housing type, vehicle use relies on individual circumstances and preferences, including affordability of ownership and operation of a vehicle; availability of public transportation; and proximity to necessities, such as food, employment, and health care.

Various surveys indicate that 48% to 78% of college students in the U.S. own vehicles. University and college campuses typically include cafeterias, small convenience stores for limited groceries and various sundries, diverse entertainment venues, and health services, greatly limiting the need for a personal vehicle.

All undergraduate students at Georgetown College, unless granted a Housing Waiver, are required to live on campus. According to the website, *College Tuition Compare*, there were 1,111 undergraduate students enrolled at Georgetown College for the 2024-2025 academic year attending courses on campus. Georgetown College requires all students wishing to park on campus to register their vehicle with Campus Safety. For the Spring 2026 semester, 634 student vehicles have been registered. Applying last year's enrollment to the current vehicle registration number, approximately 42% of Georgetown College students park on campus. It is staff's understanding that the Georgetown College's Executive Cabinet is evaluating a policy change which would restrict first-year students from having a car on campus, although a timeline for when implementation of this policy would take effect, should it be approved, has not been determined.

3. Parking availability is limited to the immediate vicinity of the structure.

With the proposed development, the number of tenants at the subject residence hall is to increase while the number of on-site parking spaces is to decrease. As noted earlier, the applicant has indicated that additional parking spaces can be found elsewhere on campus and off campus.

Indeed, nearby parking is available outside of the two on-site lots. Approximately 17 spaces are available on the north side of E College Street directly in front of the facility, and the college has a long-standing agreement with Georgetown Baptist Church for the use of their parking lot that borders Hamilton Street and Mulberry Street from Monday through Saturday. A count of parking spaces on the church's parking lot by aerial imagery shows there to be approximately 85 spaces, and the lot is within 500 feet from the Knight Hall's main entrance on the south. The total number of parking spaces that will be available for students within 500 feet of Knight Hall is 204 spaces, 7 of those being dedicated ADA compliant spaces. That number of spaces would provide nearby parking for 65% of the proposed 311 maximum number of Knight Hall residents, a share that is below current demand of 42% of student registered vehicles.

Staff recommends approval of this waiver request on the following grounds:

1. That "boarding house", although it is a cited use for which there is a specified parking requirement that is the most similar use to "sleeping rooms", does not adequately encompass the scale, length of stay, or spatial association of residence hall tenants and campus activities and studies;
2. That registration of vehicles by campus-housed students is not universal and, in the case of Georgetown College, is less than half; and
3. There appears to be an adequate number for parking spaces that will be available on the reconfigured on-site parking lot and nearby street and off-campus lots.

Landscaping

Section 2.20, Change to Existing Development, of the Georgetown & Scott County Landscape and Land Use Buffer Ordinance, specifies the following:

No building, structure, or vehicular use area (VUA) shall be expanded, moved, or reconstructed and no use shall be changed to another use or increased in intensity unless the minimum landscaping required by the provision of this Article is provided for the property, excluding agricultural and residential uses in agricultural zoning districts. Landscaping shall be provided only for any additional structures, parking or VUA over and above that of the existing development, except as follows. If the additional parking or VUA requirement is equal to or greater than the number of parking spaces or VUA area provided by the previous use, then perimeter landscaping shall be provided for the entire vehicular use area serving the property.

Per the regulation cited above, the applicant is required to provide perimeter landscaping for the proposed addition to the existing structure. This is to include, as detailed in Section 6.12.8, when a multi-family zone adjoins a single-family zone, a minimum 10-foot buffer; one tree per 40 feet of linear boundary; and a 6-foot-high screening composed of plantings, hedge, fence, wall, or earth mound. The applicant is proposing to install 10 trees, all of which are listed in the Planting Manual, spaced 40 feet along the northern boundary where the new wing is to be installed. The applicant also proposes installing a 6-foot-high wooded fence along this portion of the northern boundary. and the northern portion of the east boundary line.

As the proposed development results in a reduction in the number of parking spaces and the VUA, per the regulation above, the applicant is not required to provide perimeter landscaping or screening. As well, interior landscaping for vehicular use areas beyond that existing is not required. However, the applicant is proposing to install 5 trees around the perimeter of the reconfigured parking lot, adding to the existing trees, and installing a 6-foot-high fence along the northern and northern portion of the east boundary lines. The vegetation on the existing landscape islands in the eastern lot will remain. The proposed perimeter landscaping exceeds that which is required.

Canopy

Section 6.2215 establishes the amount of canopy coverage that is required, depending on how much of the existing canopy is preserved, for multi-family residential properties under development. The project site has an existing canopy coverage of 11.6% (0.297 acres) of the lot area. To accommodate the proposed addition, 0.106 acres is to be removed, leaving 7.5% (0.191 acres) of the lot in preserved tree coverage. This would require that the proposed development establish a canopy coverage that is a minimum of 20% of the lot area. The applicant proposes installing 0.375 acres of tree coverage, resulting in a total canopy coverage of 22.2% of the lot area, thus exceeding regulation requirements.

FINDINGS

1. The project site is a 2.67-acre parcel zoned R-2 (Medium Residential)
2. The development proposal is for the renovation of and new addition to the Georgetown College Knight Hall residential facility.
3. The building was constructed in 1958 and was established as a campus residential hall.
4. The use is multitenant residential. The R-2 district allows four or more sleeping rooms as a conditional use.

5. As this use was in effect prior to the current regulations, staff has determined that, as continuance of an established and ongoing use, a conditional use permit is not required for this project.
6. The occupancy capacity will increase from 265 to 310. Most of the units will be 2 to 3 bedrooms,
7. The proposed addition is to be three stories and 48 feet and 3 inches tall, which exceeds the maximum permissible height of two stories or 30 feet in the R-2 District.
8. The applicant requests a variance from this restriction based on maintaining architectural character and style of the building and the neighborhood.
9. Staff supports this variance request based on the rationale of the applicant.
10. The proposed addition will encroach onto the 25-foot rear yard setback requirement in the R-2 district on the grounds that the parcel is irregularly shaped and that encroachment is necessary to maintain architectural integrity and to meet interior special requirements for occupancy.
11. Staff supports this variance request based on the rationale of the applicant as well as the limited impact of the encroachment on adjacent properties.
12. Vehicular access and circulation is to remain largely unchanged. The number of ADA compliant parking spaces is to increase and placed closer to the facility. Pedestrian circulation will be improved through the increase of the number of multi-directional sidewalks and the number of access points to the facility.
13. Estimated trip generation remains below the amount of AM and PM peak hours necessary to require a traffic study.
14. The facility has two parking lots adjacent to the building. A 2020 parking lot audit characterized the surfaces of these two lots as being poor to fair but with poor markings.
15. A portion of eastern lot is on an adjacent parcel, and this portion is to be removed. The resultant parking that will be available on these two lots is 102, of which 7 will be ADA compliant.
16. The Subdivision and Development Regulations does not include "sleeping rooms" in its use-based determination of parking requirements but does specify requirements for a "Boarding House". That requirement is 2 spaces for the owner occupant and one space for each roomer. Application of that use-based requirement will require that the two existing lots contain a minimum of 311 parking spaces.
17. The applicant is requesting a waiver from this use-based determination for parking requirements.
18. Staff supports the waiver request based on the distinct differences of scale and temporal and spatial relationships between tenants of the respective facilities, trends in vehicular use and ownership, and availability of off-site parking.
19. Staff also supports the waiver request based on there being no regulatory designation of residence halls for parking requirements and that the on-site and nearby parking will be sufficient given the apparent student parking trends for Georgetown College.
20. The landscaping and canopy requirements for the proposed development will be met.

RECOMMENDATION

Staff recommends **approval** of the proposed Preliminary Development Plan for the proposed renovation and new addition to Georgetown College Knight Hall located at 315 E College Street as well as approval of the requested variances and waiver. Should the Planning Commission recommend approval, staff suggests including the following conditions of approval:

Variances and Waiver:

1. An 18-foot, 3-inch variance from the height restriction of two stories or 30 feet in the R-2 zoning district.
2. A 7-foot variance and a 17-foot variance from the 25-foot rear yard setback in the R-2 district. The affected properties include the parcel addressed at 356 E Main Street (Parcel 166-40-216.000) and the Tarlton Cemetery (Parcel 166-40-264.001).
3. A waiver of the parking requirement of two spaces for the owner occupant and one space for each occupant in a boarding house.

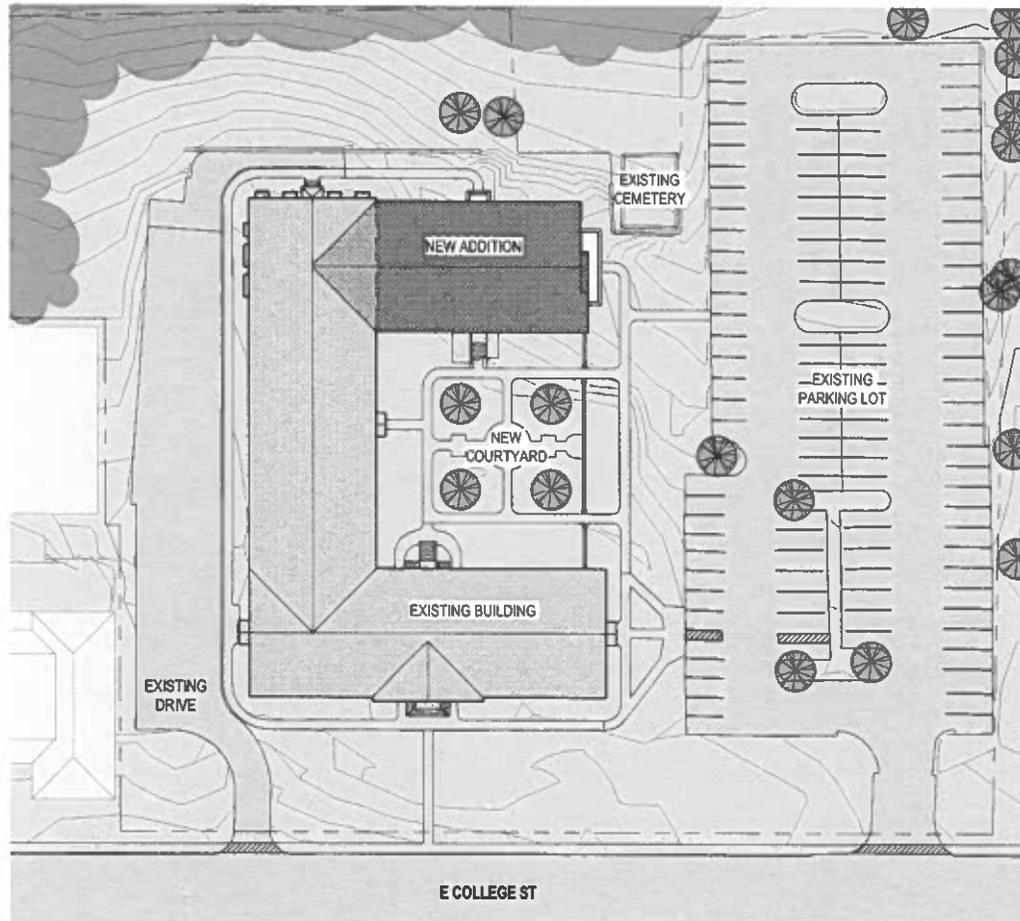
Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance and Subdivision and Development Regulations*.
2. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the Subdivision and Development Regulations.
3. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
4. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
5. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
6. The Final Development Plan shall comply with all stormwater management requirements according to the current Stormwater Manual including a post-construction stormwater management BMP O&M agreement.
7. A photometric plan shall be submitted and approved as part of the Final Development Plan. The Applicant shall direct lighting away from adjoining property and not have any off-site impact.
8. All requirements of the Georgetown Fire Department regarding sprinkling and relocation of the Knox Box to a newly established main entryway into the building.
9. All requirements of GMWSS regarding sanitary sewer and water services
10. That the existing, on-site parking lots be clearly marked and all appropriate parking signs be installed if not already present.

| OVERALL EXISTING BUILDING SUMMARY | |
|-----------------------------------|------------|
| EXISTING BUILDING AREA: | 60,148 GSF |
| EXISTING BEDS CURRENTLY: | 222 BEDS |
| EXISTING BEDS AFTER RENOVATION: | 265 BEDS |

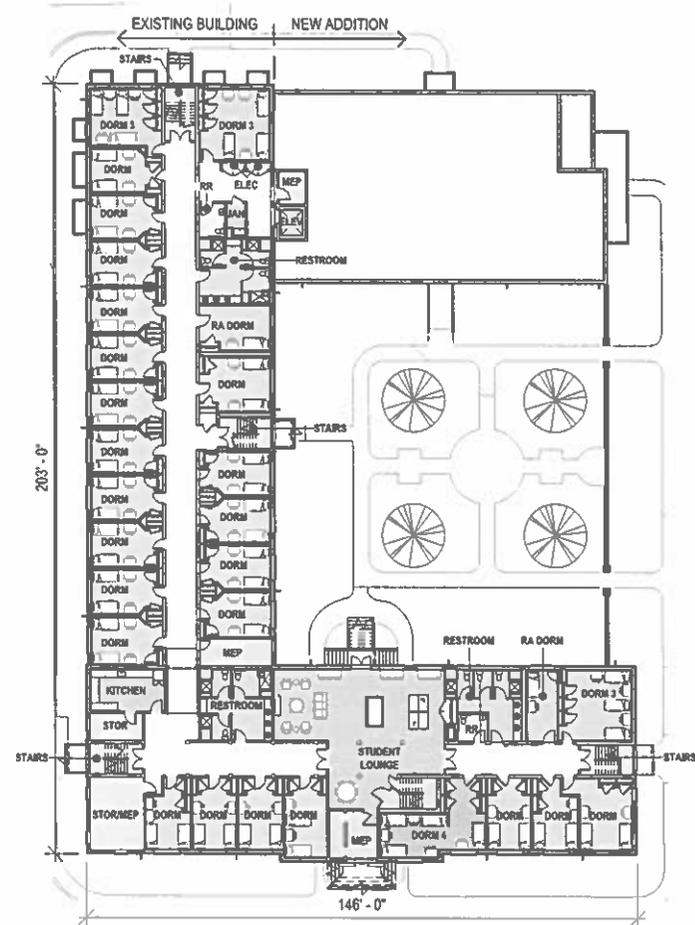
| OVERALL NEW ADDITION BUILDING SUMMARY | |
|---------------------------------------|------------|
| NEW ADDITION BUILDING AREA: | 13,481 GSF |
| NEW ADDITION BED COUNT: | 45 BEDS |

| OVERALL BUILDING SUMMARY | |
|--------------------------|------------|
| BUILDING AREA: | 73,630 GSF |
| BED COUNT: | 310 BEDS |



| GROSS BUILDING SF - LEVEL 00 | | |
|------------------------------|----------|--|
| Name | Area | |
| Level 0 | | |
| EXISTING | 15037 SF | |
| NEW ADDITION | 167 SF | |
| Total | 15204 SF | |

| DORM COUNTS - LEVEL 00 | | | |
|------------------------|-------|------|------------|
| Name | Count | Beds | Bed Counts |
| Level 0 | | | |
| DORM | 23 | 2 | 46 |
| DORM 3 | 3 | 3 | 9 |
| DORM 4 | 1 | 4 | 4 |
| RA DORM | 2 | 1 | 2 |
| Total | | | 61 |



OVERALL GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

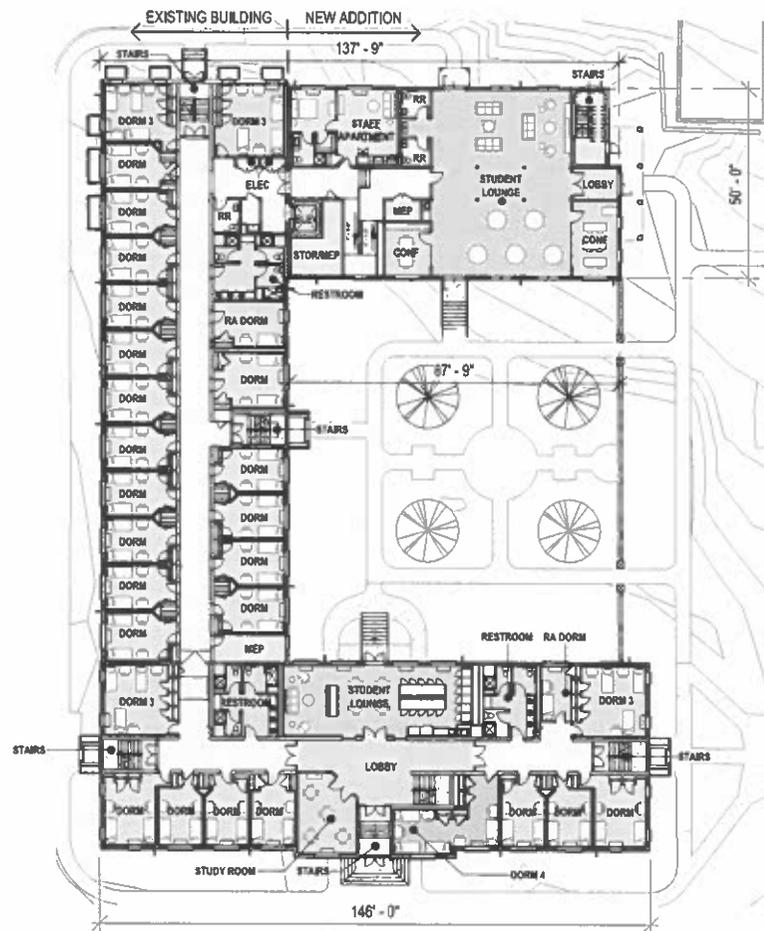
| GROSS BUILDING SF - LEVEL 01 | |
|------------------------------|------|
| Name | Area |

| Level 1 | |
|--------------|----------|
| EXISTING | 15037 SF |
| NEW ADDITION | 4438 SF |
| GRAND TOTAL | 19475 SF |

| DORM COUNTS - LEVEL 01 | | | |
|------------------------|-------|------|------------|
| Name | Count | Beds | Bed Counts |

| EXISTING | | | |
|----------|----|---|----|
| Level 1 | | | |
| DORM | 23 | 2 | 46 |
| DORM 3 | 4 | 3 | 12 |
| DORM 4 | 1 | 4 | 4 |
| RA DORM | 2 | 1 | 2 |

| NEW ADDITION | | | |
|-----------------|---|---|----|
| Level 1.1 | | | |
| STAFF APARTMENT | 1 | 1 | 1 |
| Grand total | | | 65 |



OVERALL FIRST FLOOR PLAN

SCALE: 1/32" = 1'-0"

SK-02 | 02/06/2026

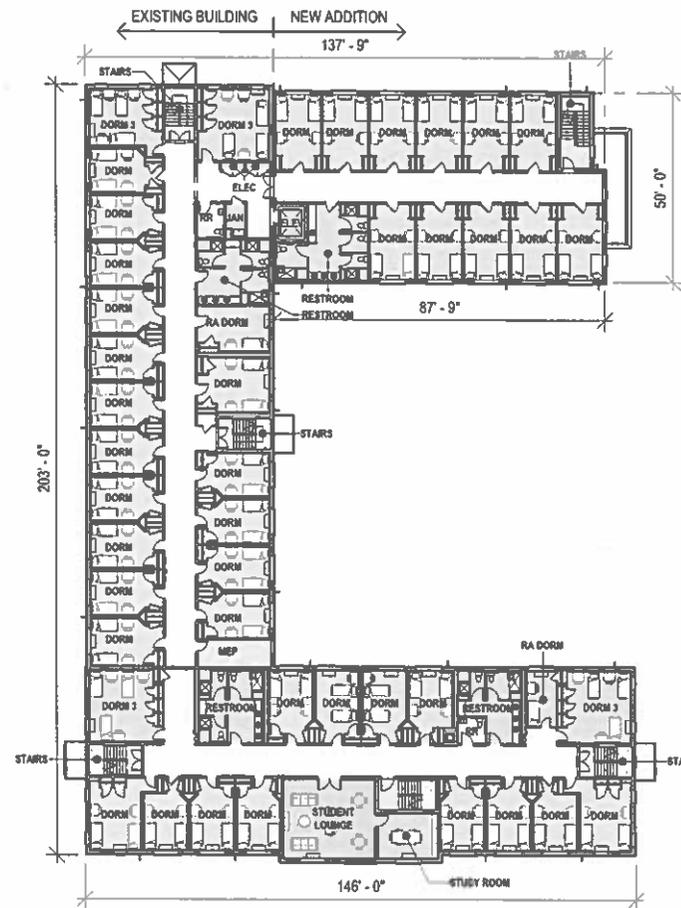
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DESIGN STUDIO

UHS
University Housing Solutions

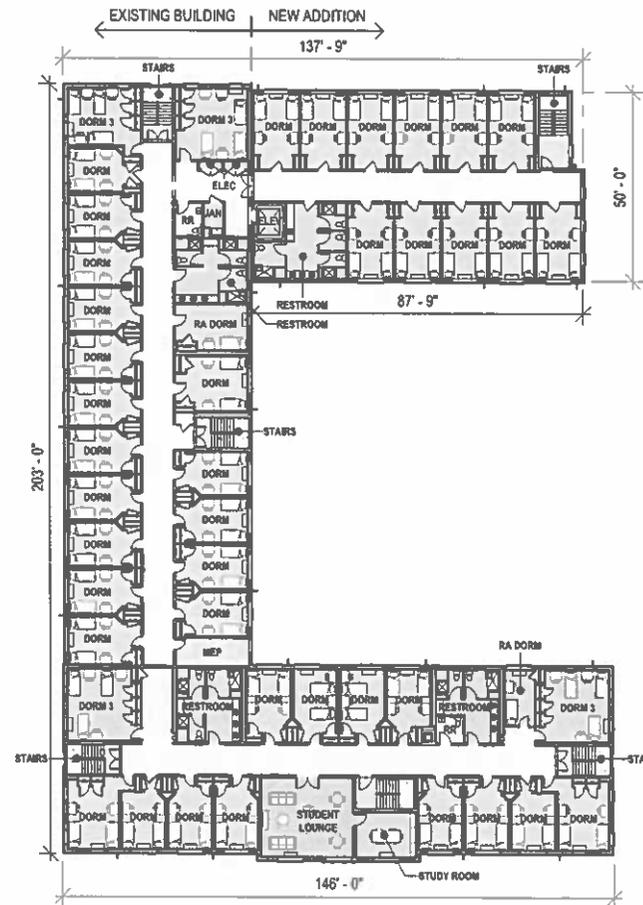
| GROSS BUILDING SF - LEVEL 02 | |
|------------------------------|----------|
| Name | Area |
| Level 2 | |
| EXISTING | 15037 SF |
| NEW ADDITION | 4438 SF |
| GRAND TOTAL | 19475 SF |

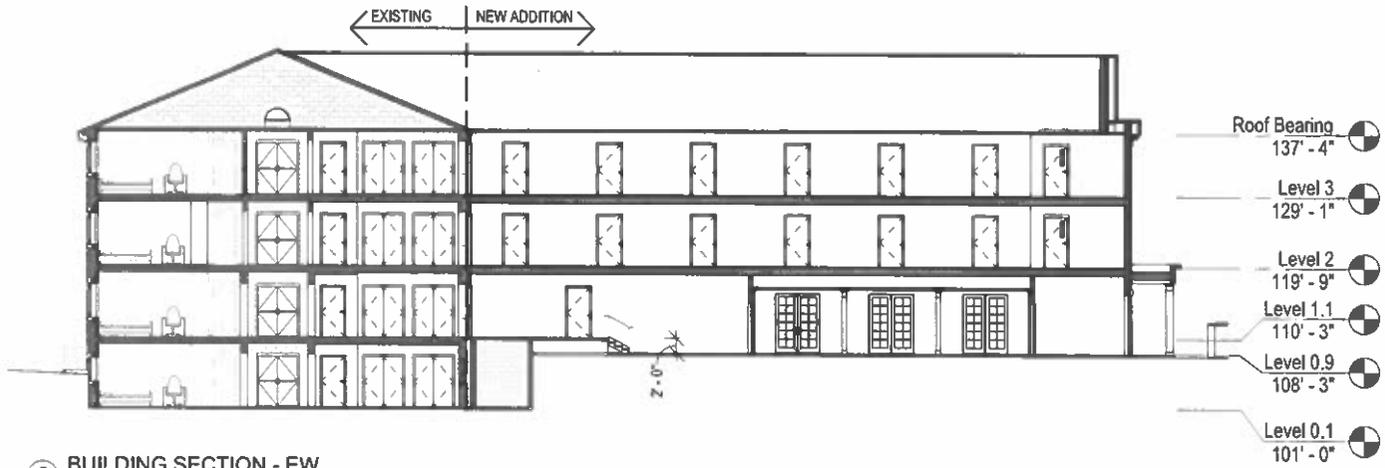
| DORM COUNTS - LEVEL 02 | | | |
|------------------------|-------|------|------------|
| Name | Count | Beds | Bed Counts |
| EXISTING | | | |
| Level 2 | | | |
| DORM | 28 | 2 | 56 |
| DORM 3 | 4 | 3 | 12 |
| RA DORM | 2 | 1 | 2 |
| NEW ADDITION | | | |
| Level 2 | | | |
| DORM | 11 | 2 | 22 |
| Grand total | | | 92 |



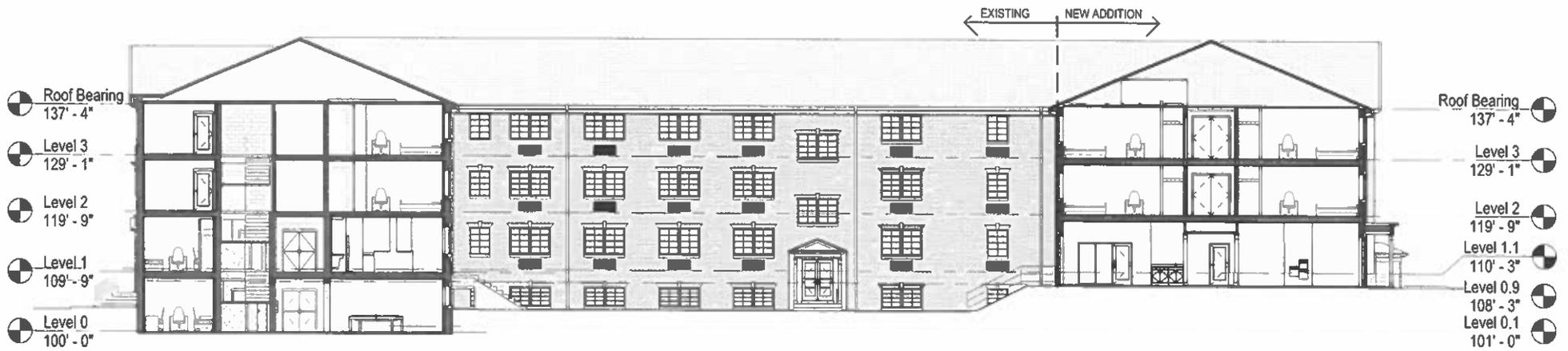
| GROSS BUILDING SF - LEVEL 03 | | |
|------------------------------|------|----------|
| Name | Area | |
| Level 3 | | |
| EXISTING | | 15037 SF |
| NEW ADDITION | | 4438 SF |
| GRAND TOTAL | | 19475 SF |

| DORM COUNTS - LEVEL 03 | | | | |
|------------------------|-------|------|------------|--|
| Name | Count | Beds | Bed Counts | |
| EXISTING | | | | |
| Level 3 | | | | |
| DORM | 28 | 2 | 56 | |
| DORM 3 | 4 | 3 | 12 | |
| RA DORM | 2 | 1 | 2 | |
| NEW ADDITION | | | | |
| Level 3 | | | | |
| DORM | 11 | 2 | 22 | |
| Grand total | | | 92 | |

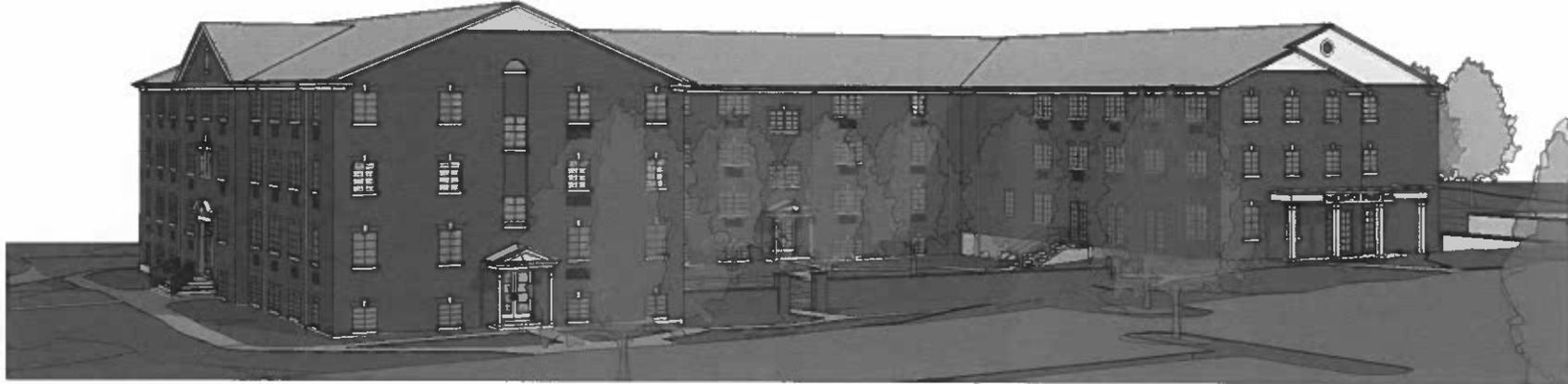




② BUILDING SECTION - EW
1/16" = 1'-0"



① BUILDING SECTION - NS
1/16" = 1'-0"



Memorandum

Project #
251136.000

TO: Georgetown - Scott County Planning Commission
CC: Mark Carper
FROM: Giorgio Nardi
DATE: February 2, 2026
RE: Knight Hall PDP Application

The Kleingers Group is submitting a Preliminary Development Plan for the Georgetown College Knight Hall Renovation and Addition. The use of this dormitory is acceptable within a R-2 Zone, but it was found that several variances will be required for this renovation and addition.

R-2 Variances:

- 2 Story or 30' Tall Maximum Building Height
 - The existing building does not follow this code (4 stories and approximately 48'-3"). The plan is for the addition to matching the existing height and style providing uniformity to the building. Unnaturally lowering the building below this requirement would look odd in the neighborhood. See the submitted architectural elevations and rendering to see how this addition plans to mirror the southern wing.
- Rear Setback of 25'
 - To mirror the southern wing appropriately we encroach the 25' setback from the cemetery (8') and a neighbor to the north (20'). The architectural team has sized this building to include appropriate hallway sizes and dorm rooms, which can put constraints on the building size and layout. Additional shifting or building footprint adjustments would make for odd angles and configurations to meet this setback requirement. The 8' distance to the cemetery setback is due to a proposed portico. This door is meant to become the main entrance to this building. The portico will provide cover for students. Additionally, the neighbor to the north has a fence along their property to allow for separation between the two properties.
- 1 Parking Spot is Required for Every Occupant (309)
 - The plan for this renovation is to limit the adjustments to the existing parking lot. Upon reviewing the lot, we found that there are not the required number of ADA spaces. The civil plans show the required adjustments to gain the appropriate number of ADA spaces. At the conclusion of this project there will be a total of 126 spaces and 7 ADA spaces to utilize around Knight Hall. While this is under 309 spaces it has been noted that not every student is expected to have car on campus and can utilize any campus wide parking if needed.

We request approval of these variances, as they are necessary for the renovation and addition to proceed while maintaining the building's architectural character and improving overall building accessibility and functionality.

GENERAL NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE KENTUCKY DEP FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS. OWNER WILL OBTAIN PERMITS.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION AGAINST UNNECESSARY CUTTING, BRUISING OR REMOVAL OF ROOTS, BRUISING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY GEORGETOWN SCOTT COUNTY.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION SHALL BE SEEDED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE PRIVATE AND MAINTAINED BY THE OWNER.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTION ETC AS REQUIRED TO CONVEY THE PAVED SURFACE DRAINAGE TO THE EXISTING DRAINAGE SYSTEM.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.
- CONCRETE WALKS SHALL BE FORMED WITH CONTROL JOINTS EQUALLY SPACED AT NO MORE THAN 6' ON CENTER.
- ANY FIELD CUT MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS.
- ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
- PARKING SPACES ARE 9' x 18' UNLESS OTHERWISE NOTED.
- FINAL SITE STABILIZATION IS CONSIDERED ACHIEVED ONCE ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES ARE REMOVED AND DISPOSED OF AND ALL TRAPPED SEDIMENT HAS BEEN PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WILL BE DISPOSED OF AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES WILL BE PERMANENTLY STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
- DANDY BAGS TO BE USED AT ALL STORM INLETS FOR EROSION CONTROL.
- ALL END OF CURBS TAPE SIX INCHES AT TWELVE INCHES.
- MSD IS TO BE CONTACTED 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY AT 659-578-4892.
- CONTRACTOR TO LAYOUT BUILDING BASED ON ARCHITECTURAL FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

UTILITY NOTES

- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ALL STORM STRUCTURES ARE KYTC TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE Labeled "STW" SHALL BE ONE OF THE FOLLOWING: PVC 30R-35 OR HIGH DENSITY POLYETHYLENE STORM SEWER PIPE Labeled "RCP" SHALL BE REINFORCED CONCRETE PIPE. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (H=11.3) OR LESS.
- CONTRACTOR SHALL SECURE ALL PERMITS AND FURNISH ALL DRAWINGS REQUIRED FOR UTILITY TAPS PRIOR TO STARTING CONSTRUCTION.
- PROVIDE MANUFACTURERS RECOMMENDED COVER OVER TOP OF STORM PIPE DURING CONSTRUCTION UNTIL PAVING OPERATIONS BEGIN.
- SITE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED VERTICAL SEPARATION BETWEEN UTILITIES BY VARYING DEPTH OF UNDERGROUND ELECTRIC, TELEPHONE, WATER AND GAS.
- WATERLINE SHALL HAVE A MINIMUM OF 4' OF COVER.
- A MINIMUM OF 1' OF VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN UTILITIES AT ALL TIMES.
- FIRE HYDRANT ASSEMBLY INCLUDES FIRE HYDRANT AND 6" WATER VALVE.
- PROVIDE UNDERGROUND FLUSH CERTIFICATES PER NFPA.
- SANITARY SERVICE SHALL BE 4" PVC-30R 35 OR APPROVED EQUAL (CONFORMING TO SD) WATER & SEWER DEPARTMENT RULES AND REGULATIONS) INSTALLED AT A MINIMUM SLOPE OF ONE PERCENT (1.0%) UNLESS OTHERWISE NOTED. SANITARY SERVICE SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 1' CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE CROSSINGS. SANITARY SERVICE JOINTS ALL CONFORM TO ASTM D-371.
- FORTY EIGHT HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE KENTUCKY UNDERGROUND PROTECTION SERVICE AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF THE KENTUCKY UNDERGROUND PROTECTION SERVICE.
- EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST INFORMATION AVAILABLE. THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT BE GUARANTEED ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - CONTACTING THE INDIVIDUAL UTILITY OWNERS TEN DAYS PRIOR TO CONSTRUCTION AND ADVISING THEM OF THE WORK TO TAKE PLACE.
 - SHIELDING THEIR AID IN LOCATING AND PROTECTING ANY UTILITY WHICH MAY INTERFERE WITH CONSTRUCTION.
 - EXCAVATING AND VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF EACH UTILITY.
 - ALL DAMAGE TO ANY EXISTING UTILITY.

GRADING & EROSION CONTROL NOTES

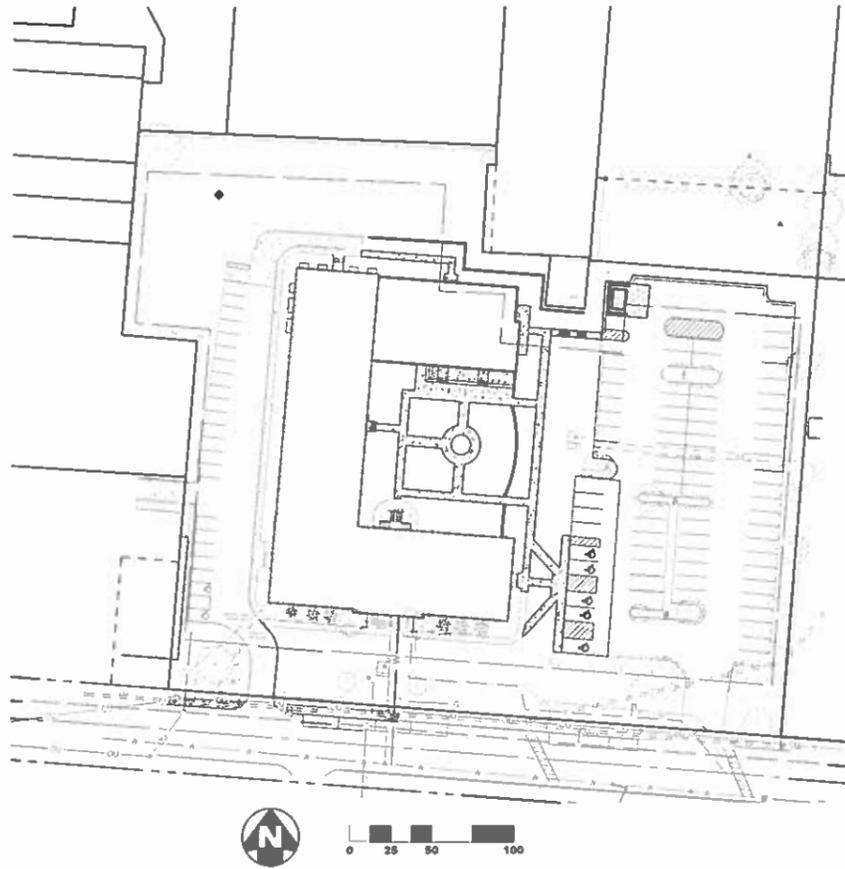
- THE NPDES PERMIT REQUIRES THAT ALL AREAS WHICH ARE AT OR NEAR FINAL GRADE, OR WHICH REMAIN DORMANT FOR MORE THAN 21 DAYS OR LONGER BE STABILIZED WITHIN 7 DAYS OF LAST ACTIVITY. VELOCITY DISSIPATION DEVICES SHOULD BE PLACED AT THE OUTFALL OF ALL DETENTION OR RETENTION STRUCTURES AND ALONG THE LENGTH OF ANY DRAINAGE CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE FLOW VELOCITY FROM THE STRUCTURE TO THE WATER COURSE.
- THE NPDES PERMIT REQUIRES THAT SEDIMENT AND EROSION CONTROLS BE INSPECTED ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF 0.5" OR GREATER RAINFALL. A WRITTEN LOG SHOULD INDICATE THE DATE OF INSPECTION NAME OF INSPECTOR, WEATHER CONDITIONS, OBSERVATIONS, ACTIONS TAKEN TO CORRECT ANY PROBLEMS AND THE DATE ACTION WAS TAKEN.
- SOLID SANITARY AND TOXIC WASTE MUST BE DISPOSED OF IN A PROPER MANNER IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.
- TEMPORARY SEEDING TYPES:
 - TALL FESCUE-SEED AT A RATE OF 50 LBS./ACRE (1 LB./100 SQ. FT.) AND MULCH WITH STRAW AT A RATE OF 2 TONS PER ACRE (40 LBS./1000 SQ. FT.). ESTABLISH BETWEEN MARCH 15 AND SEPTEMBER 31. COVER THE SEED 1-4" (2" PREFERRED) BY RAKE OR SMOOTH TOOL. THIS IS THE MOST WIDELY USED AND BEST ADAPTED GRASS FOR STREAMBANK SEEDINGS. IT HAS GOOD TOLERANCE TO WET SOILS AND FLOODING. IT IS ALSO WELL ADAPTED TO WELL DRAINED SOILS.
 - REED CANARYGRASS (PHALARIS RUPESTRIS) PLUS TALL FESCUE-SEED THE REED CANARYGRASS AT A RATE OF 15 LBS./ACRE (1.5 LB./1000 SQ. FT.) PLUS 10 LBS. ACRE (1 LB./100 SQ. FT.) OF TALL FESCUE. MULCH WITH STRAW AT A RATE OF 2 TONS/ACRE (40 LBS./1000 SQ. FT.). THIS MIXTURE SHOULD ONLY BE SEEDING FROM MARCH 1 TO MAY 15 OR AUGUST 1 TO SEPTEMBER 30. COVER THE SEED 1-1.5" INCH BY RAKING OR SIMILAR TOOL. THIS MIXTURE IS ADAPTABLE TO SOILS THAT ARE VERY WET AS WELL AS WELL DRAINED SOILS. CONDITIONS: REED CANARYGRASS CAN WITHSTAND EXTENDED PERIODS OF FLOODING. IT IS EXCELLENT FOR EROSION CONTROL. REED CANARYGRASS CAN ALSO BE ESTABLISHED BY 500 STRIPS USING ROLLS OR FRESHLY CUT CUTLIMS. THE LOCAL CONSERVATION SERVICE OFFICE CAN PROVIDE THE SPECIFIC DETAILS REQUIRED TO USE ONE OF THE ALTERNATIVE ESTABLISHMENT METHODS.

KNIGHT HALL RENOVATION & ADDITION PRELIMINARY DEVELOPMENT PLAN

315 E COLLEGE STREET
CITY OF GEORGETOWN
SCOTT COUNTY, KENTUCKY



VICINITY MAP
N.T.S.



SITE DATA:

OWNER OF RECORD: GEORGETOWN COLLEGE
400 E COLLEGE STREET
GEORGETOWN, KY 40324
502-863-8000

DEVELOPER: UNIVERSITY HOUSING SOLUTIONS
161 N 4TH ST, SUITE 200
COLUMBUS, OHIO 43215
614-848-8626

ENGINEER/SURVEYOR: THE KLEINGERS GROUP
8219 CENTRE PARK DRIVE
WEST CHESTER, OH 43081
513-779-7851

SITE INFORMATION:

BOUNDARY: FINAL BOUNDARY TO BE COMPLETED BY THE KLEINGERS GROUP

TOPOGRAPHY: BASED ON TOPOGRAPHIC SURVEY BY THE KLEINGERS GROUP

ZONING: R-2

EXISTING USE: GEORGETOWN COLLEGE DORMITORY

PROPOSED USE: GEORGETOWN COLLEGE DORMITORY

ACRES OF LAND: 2.87

ACRES BEING DEVELOPED: 0.45

ROOMS PER ACRE: 113

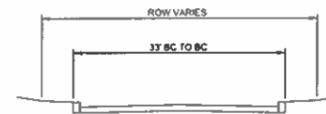
EXISTING OCCUPANTS: 265 (SEE ARCH PLANS FOR ADDITIONAL DETAILS)

PROPOSED OCCUPANTS: 310 (SEE ARCH PLANS FOR ADDITIONAL DETAILS)

SEE SHEET C300 FOR ADDITIONAL SITE STATISTICS

GEORGETOWN/SCOTT COUNTY PDF ITEMS:

- KYTC ENTRANCE PERMIT IS NOT REQUIRED
- NEW ENTRANCES ARE NOT PROPOSED
- PROJECT IS NOT WITHIN THE ROYAL SPRING AQUIFER RECHARGE AREA
- THERE ARE NO KNOWN EXTERNAL ENVIRONMENTAL SENSITIVE AREAS TO BE IDENTIFIED



EXISTING ROAD SECTION - EAST COLLEGE STREET
N.T.S.

Sheet List Table

| Sheet Number | Sheet Title |
|--------------|--------------------------|
| C000 | TITLE SHEET |
| C100 | EXISTING CONDITIONS PLAN |
| C200 | DEMOLITION PLAN |
| C300 | LOCATION PLAN |
| C500 | GRADING PLAN |



Know what's below. 811 before you dig.

NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILED LIST OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE KENTUCKY UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-5844 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com
6219 Centre Park Dr
West Chester, OH 43081
513-779-7851

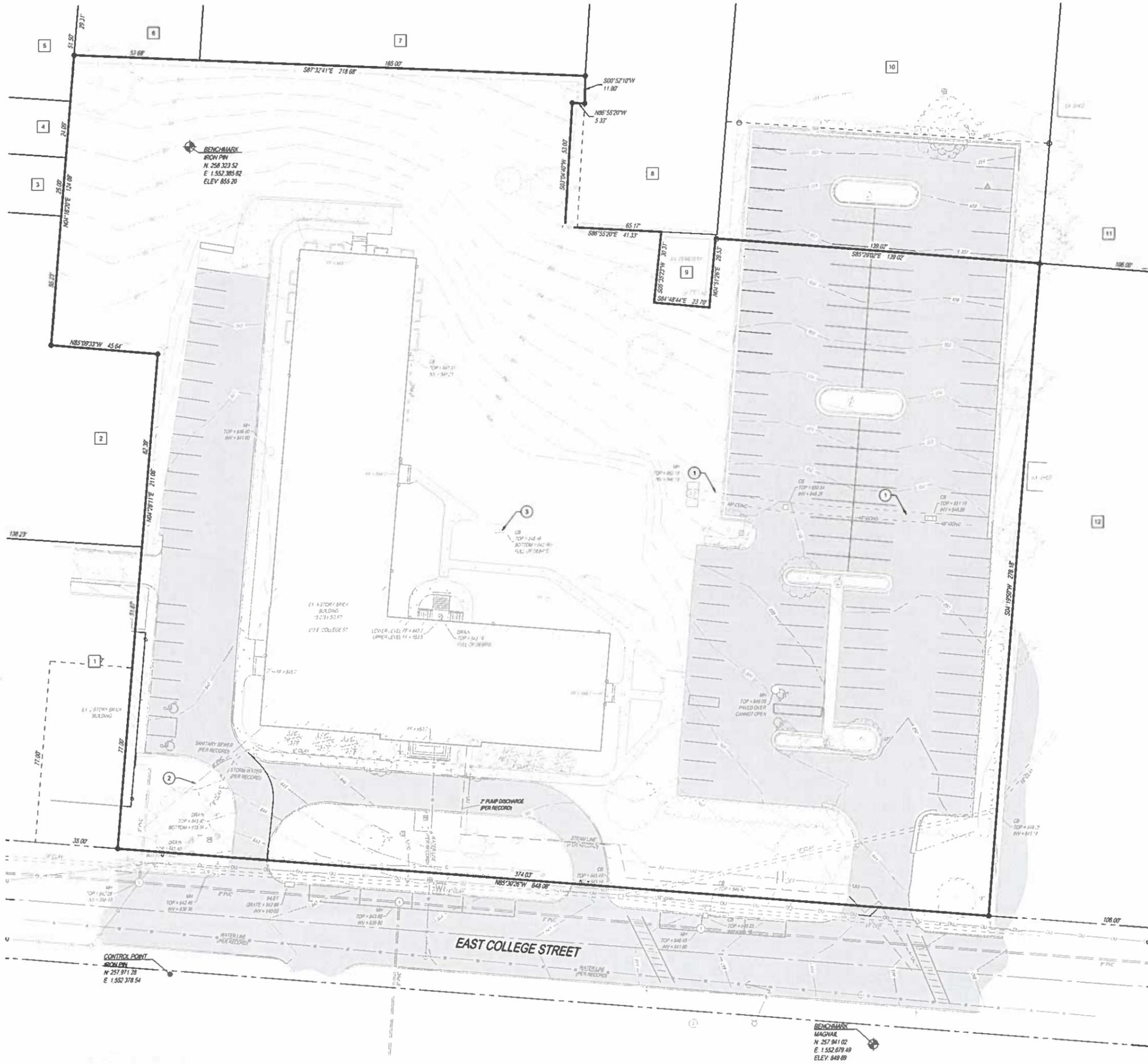
PROJECT NO: 251136.000
DATE: 2026-02-25
SCALE:

SHEET NAME:

TITLE SHEET

SHEET NO:

C000



LEGEND:

- ◆ BENCHMARK
- ① SANITARY MANHOLE
- MANHOLE
- ⊙ STORM MANHOLE
- CATCH BASIN
- INLET
- YARD DRAIN
- DOWNSPOUT
- PULL BOX
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- PHONE BOX
- GAS METER
- GAS VALVE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- STUMP
- SINGLE POST SIGN
- HANDICAP
- FENCE LINE
- BUSH LINE
- HANDRAIL
- GAS LINE
- OVERHEAD UTILITIES
- STORM SEWER
- SANITARY SEWER
- DECIDUOUS TREE
- BUSH
- ASPHALT
- CONCRETE

| KEY | PARCEL NUMBER | NAME OF OWNER | ZONE |
|-----|----------------|----------------------------------|------|
| 1 | 166-40-275.000 | GEORGETOWN COLLEGE | B-3 |
| 2 | 166-40-254.000 | ZION BAPTIST CHURCH | B-3 |
| 3 | 166-40-241.000 | ZION BAPTIST CHURCH | B-3 |
| 4 | 166-40-229.000 | THOMSON PROPERTIES LLC | B-3 |
| 5 | 166-40-225.000 | VINT MICHAEL J & CHERRI L | B-3 |
| 6 | 166-40-197.000 | NUNN PROPERTIES LLC | B-3 |
| 7 | 166-40-211.000 | HOFFMAN CHARLES R & MARGARET ANN | R-2 |
| 8 | 166-40-216.000 | CARR AUDREY T | R-2 |
| 9 | 166-40-264.001 | CEMETERY | N/A |
| 10 | 166-40-220.000 | WOLFE BRYAN LEWIS | R-2 |
| 11 | 166-40-231.000 | HAYS WILLIAM & SALLY G | R-2 |
| 12 | 166-40-279.000 | WOLFE BRYAN LEWIS & LYNNE PARMAN | R-2 |

CODED NOTES

- ① 48" CONCRETE PIPE TO BE CLEARED AND CCT'VD
- ② 8" SANITARY SERVICE LINE TO BE CLEARED AND CCT'VD
- ③ CATCH BASIN TO BE CLEARED AND CCT'VD

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 513.779.7851

SEAL

NO DATE DESCRIPTION

KNIGHT HALL RENOVATION & ADDITION PRELIMINARY DEVELOPMENT PLAN
 315 EAST COLLEGE STREET
 CITY OF GEORGETOWN
 SCOTT COUNTY, KENTUCKY

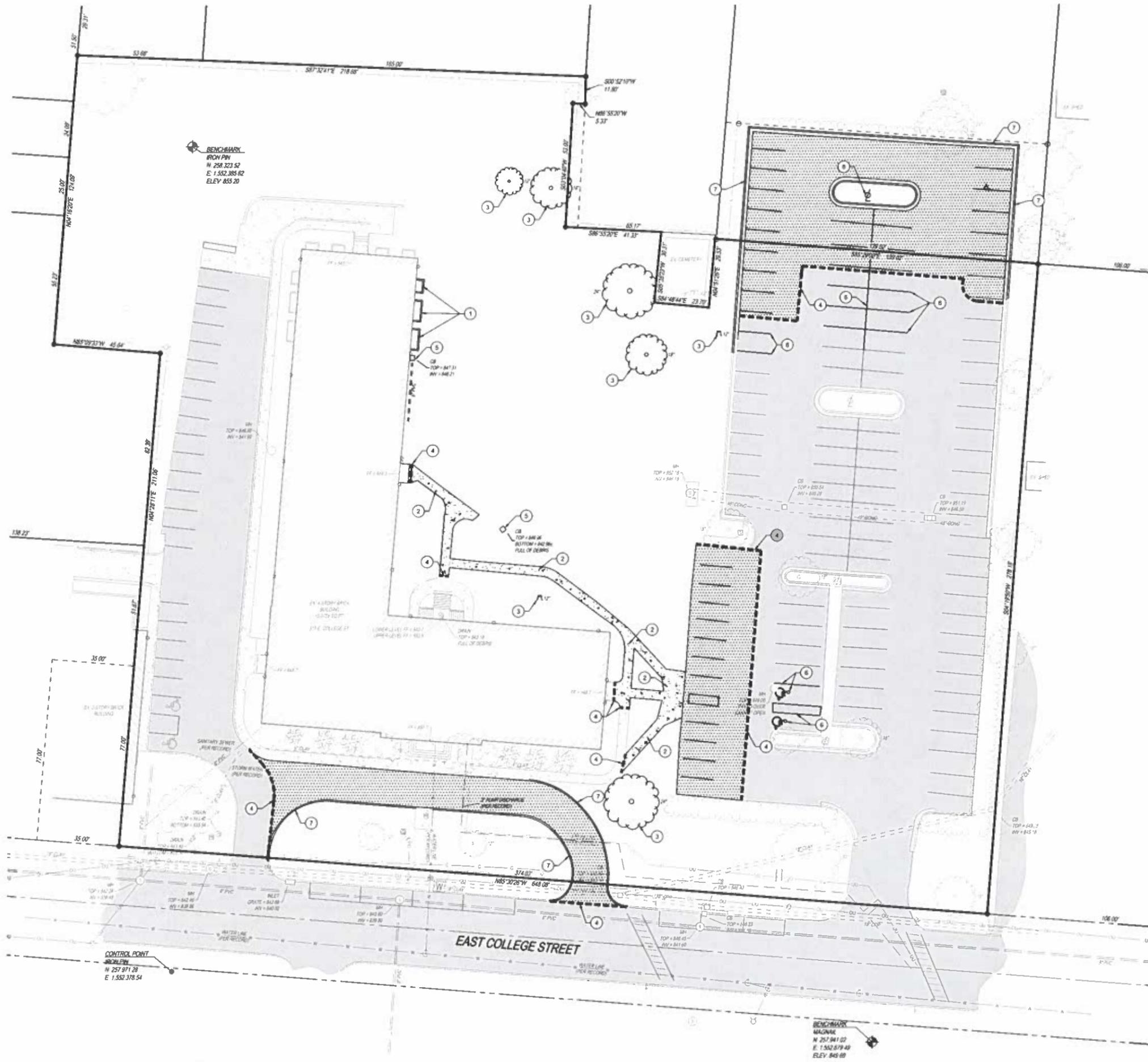
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| PROJECT NO. | 281138.000 |
| DATE | 2026-02-25 |
| SCALE | |
| | |
| SHEET NAME | |

EXISTING CONDITIONS PLAN

SHEET NO
C100

Kentucky 811
 Know what's below. 811 before you dig.

NOTE
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE KENTUCKY UTILITY PROTECTION SERVICE AT 811 OR 1-800-382-5844 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



LEGEND:

- ◆ BENCHMARK
- SANITARY MANHOLE
- MANHOLE
- STORM MANHOLE
- CATCH BASIN
- ALIET
- YARD DRAIN
- DOWNSPOUT
- PULL BOX
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- PHONE BOX
- GAS METER
- GAS VALVE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- STUMP
- SINGLE POST SIGN
- HANDICAP
- FENCE LINE
- BUSH LINE
- HANDRAIL
- GAS LINE
- OVERHEAD UTILITIES
- STORM SEWER
- SANITARY SEWER
- DECIDUOUS TREE
- BUSH
- ASPHALT
- CONCRETE

DEMOLITION LEGEND

- REMOVE CONCRETE
- SAWCUT LINE
- REMOVE ASPHALT

DEMOLITION CODED NOTES

- ① REMOVE EXISTING STRUCTURE.
- ② REMOVE EXISTING WALK
- ③ REMOVE EXISTING TREE
- ④ SAWCUT LINE
- ⑤ REMOVE EXISTING STORM
- ⑥ REMOVE STRIPING
- ⑦ REMOVE CURB
- ⑧ REMOVE LIGHT POLE



Know what's below. 811 before you dig.

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THE KLEINGERS GROUP
 CIVIL ENGINEERING www.kleingers.com
 SURVEYING 6219 Centre Park Dr
 LANDSCAPE ARCHITECTURE West Chester, OH 45069
 513.779.7851

SEAL:

NO. DATE DESCRIPTION

KNIGHT HALL RENOVATION & ADDITION PRELIMINARY DEVELOPMENT PLAN
 318 EAST COLLEGE STREET
 CITY OF GEORGETOWN
 SCOTT COUNTY, KENTUCKY

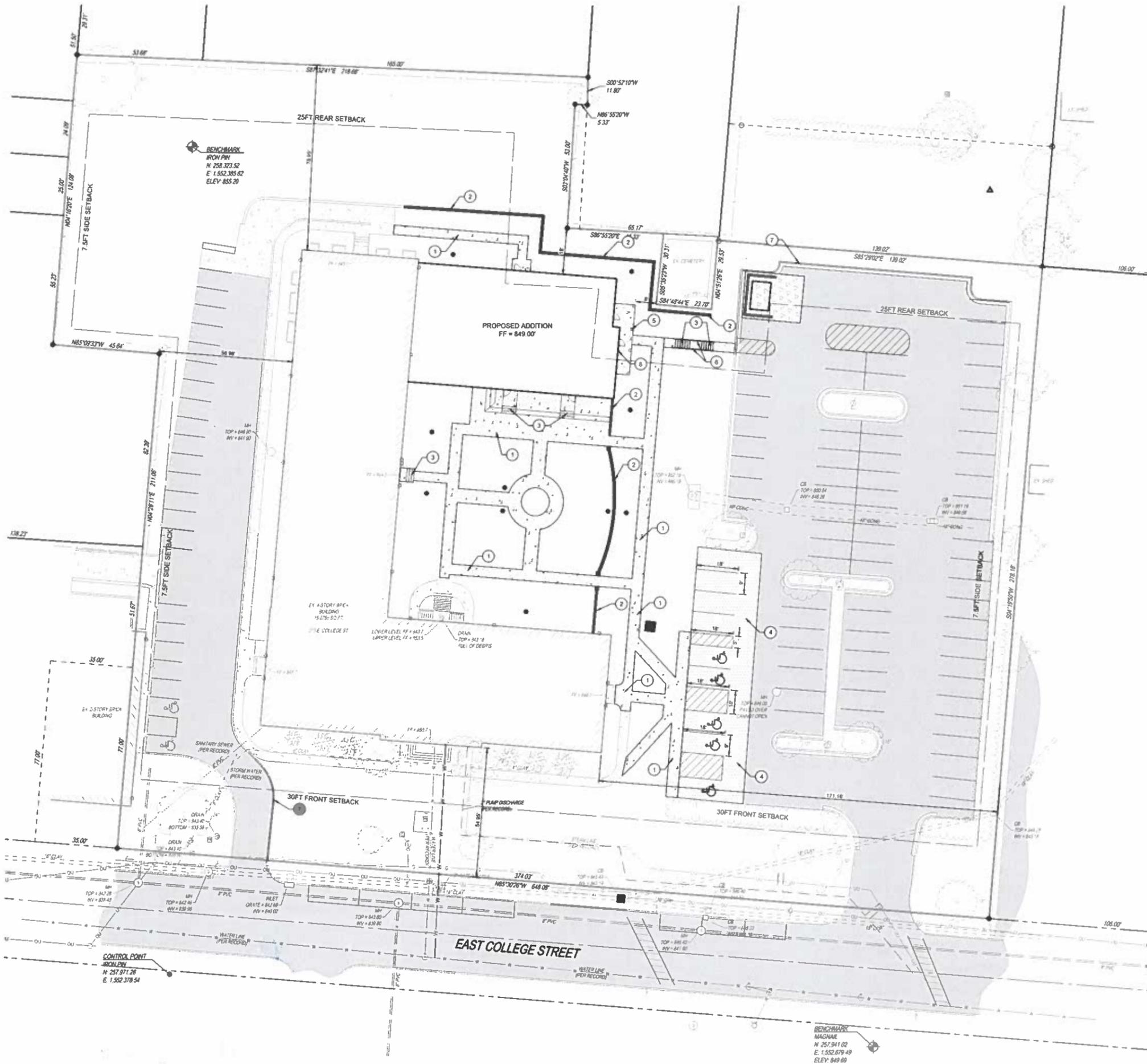
PROJECT NO: 251138.000
 DATE: 2020-02-25



SHEET NAME:

DEMOLITION PLAN

SHEET NO:
C200



PROPOSED LEGEND

| | |
|--|------------------|
| | ASPHALT PAVEMENT |
| | CONCRETE WALK |

- CODED NOTES**
- ① CONCRETE WALK
 - ② WALL
 - ③ STAIRS
 - ④ ASPHALT
 - ⑤ BUILDING OVERHANG
 - ⑥ HAND RAIL
 - ⑦ CURB
 - ⑧ RELOCATED KNOX BOX

PARKING INFORMATION:

| | |
|---|--------------------------------------|
| REQUIRED PARKING (1 SPACE PER OCCUPANT) | 309 SPACES |
| EXISTING EAST PARKING | 112 SPACES |
| EXISTING EAST ADA | 2 SPACES |
| PROPOSED EAST PARKING | 74 SPACES |
| PROPOSED EAST ADA | 5 REGULAR AND 2 VAN SPACES = 5 TOTAL |
| EXISTING WEST PARKING | 21 SPACES |
| EXISTING WEST ADA | 2 SPACES |
| TOTAL PROPOSED PARKING | 95 SPACES |
| TOTAL PROPOSED ADA | 7 SPACES |

*NOT EVERY OCCUPANT IS EXPECTED TO HAVE A VEHICLE
OTHER CAMPUS PARKING IS EXPECTED TO BE UTILIZED IF NEEDED.

BUILDING HEIGHT:

| | |
|--------------------------------------|--|
| APPROXIMATE EXISTING BUILDING HEIGHT | 48' - 3" |
| PROPOSED ADDITION HEIGHT | 48' - 3" (MATCHING EXISTING TOP OF ROOF) |

SITE STATISTICS TABLE:

| | |
|---|-----------|
| EXISTING VS PROPOSED OCCUPANCY: | |
| EXISTING DORM COUNT: | 265 BEDS |
| PROPOSED DORM COUNT: | 310 BEDS |
| EXISTING VS PROPOSED GROSS SQUARE FOOTAGE: | |
| LEVEL 0: EXISTING: | 15,037 SF |
| ADDITION: | 166 SF |
| LEVEL 1: EXISTING: | 15,037 SF |
| ADDITION: | 4,438 SF |
| LEVEL 2: EXISTING: | 15,037 SF |
| ADDITION: | 4,438 SF |
| LEVEL 3: EXISTING: | 15,037 SF |
| ADDITION: | 4,438 SF |
| TOTAL: EXISTING: | 60,148 SF |
| ADDITION: | 13,482 SF |
| SUM: | 73,630 SF |
| BUILDING PERCENT COVERAGE: | |
| EXISTING: | 12.63% |
| PROPOSED: | 16.34% |



CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

6219 Centre Park Dr. West Chester, OH 45381
513.779.7851

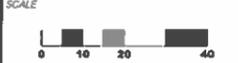
SEAL:

NO. DATE DESCRIPTION

KNIGHT HALL RENOVATION & ADDITION PRELIMINARY DEVELOPMENT PLAN
315 EAST COLLEGE STREET
CITY OF GEORGETOWN
SCOTT COUNTY, KENTUCKY

PROJECT NO: 251138.000

DATE: 2026-02-25



SHEET NAME:

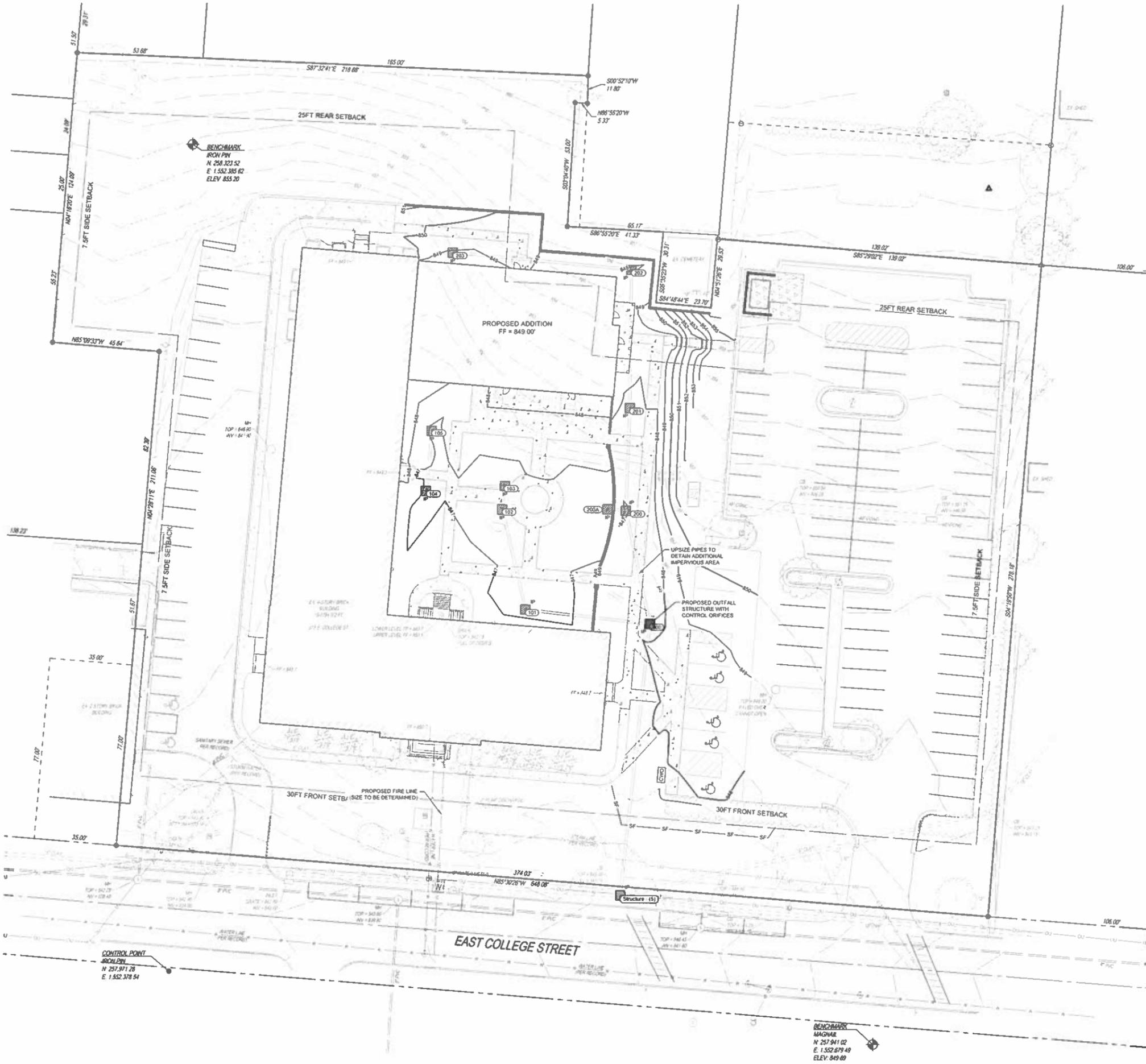
LOCATION PLAN

SHEET NO:

C300



NOTE
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- GRADING LEGEND**
- 2' — EXISTING MAJOR CONTOUR
 - 5' — EXISTING MINOR CONTOUR
 - 12.5' — PROPOSED MAJOR CONTOUR
 - 2.0' — PROPOSED MINOR CONTOUR

- PROPOSED EROSION CONTROL LEGEND**
- INLET PROTECTION
 - SILT FENCE
 - CONCRETE WASHOUT

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| | |
|----------------------|--|
| SEAL | |
| NO. DATE DESCRIPTION | |

KNIGHT HALL RENOVATION & ADDITION PRELIMINARY DEVELOPMENT PLAN
 318 EAST COLLEGE STREET
 CITY OF GEORGETOWN
 SCOTT COUNTY, KENTUCKY

PROJECT NO: 251138.000
 DATE: 2026-02-25
 SCALE: 1" = 40'

Know what's below. 811 before you dig.

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GRADING PLAN
 SHEET NO: **C500**

**UK FEDERAL CREDIT UNION
PRELIMINARY DEVELOPMENT PLAN
Staff Report for the Georgetown-Scott County Planning Commission
March 12, 2026**

FILE NUMBER: PDP 2026-10

PROPOSAL: Preliminary development plan for a bank.

LOCATION: Braeburn Road (191-30-369.001).

OWNER: Anderson Commercial, Clay Goodman.

APPLICANT: UK Federal Credit Union, Joel Aran.

CONSULTANT: CARMAN FIRM, Chris Howard



STATISTICS:

Planned Site Acreage: 1 acre (contingent upon FSP-2026-09).

Current Site Acreage: 5.16 acres.

Existing Zone: B-4 (Community Commercial).

Surrounding Zones: R-3, R-2 (PUD), A-1, B-2, R-1C (PUD).

Proposed Use: Bank/financial services.

Access: Braeburn Road.

Access (Arterial): McClelland Circle.

Context: West of the Amerson Orchard Apartments, south of the Shell Station at 1005 Lemons Mill Rd.

Building Footprint: 3,133 square feet of general floor area (4,195 square feet including drive-through canopy).

Building Coverage: 9.63% (including drive-through canopy).

Parking Spaces: 22 (2 ADA spaces).

Paved VUA: 16,383 square feet.

Waivers Requested:

1. A 40-foot reduction of the minimum required distance between driveways (100 foot minimum) (X.1000.Q.2 of the *Subdivision and Development Regulations*).
2. Waiving the requirement of 1 tree per 40 feet of linear boundary to the south portion of the vehicular use area (section 6.13.1 of the *Landscape and Land Use Buffer Ordinance*).
3. Waiving the requirement of a 6-foot-tall no-climb boundary fence when adjoining the A-1 (6.14 of the *Landscape and Land Use Buffer Ordinance*).

SITE CHARACTERISTICS

The project site is currently a 5.16-acre parcel with access upon Braeburn Road. A subdivision plat has been submitted concurrently with this application and is under ministerial review pursuant to KRS 100.275. The subdivision would divide the 5.16-acre parcel into five lots ranging from 1-1.16 acres. As shown upon the plan, the site for this application is to be upon "Proposed Lot 1A" or the uppermost lot. Material from the subdivision application (FSP-2026-09) has been included for review and context.

Adjoining properties are zoned B-4 (Gas station), R-3 (Amerson Orchard Apartments), R-2 PUD (The Mansion Estates), B-2 (Planned construction for the Village at Lemons Mill), R-1C PUD (Lake Forest Estates), and A-1 (R.O.W. of McClelland Circle). Consistent with zoning, surrounding uses are low-scale commercial and low-to-high density residential.

PLAN REVIEW

Use and Zone:

The proposed use is for a financial institution/bank. Banks are listed as a permitted or by-right use in the B-4 (4.441). It should be stated that "*Community Commercial [B-4] districts should promote community attractiveness by integrating with surrounding residential areas through pedestrian connections, landscaping, and screening*" (4.44) when evaluating a Preliminary Development Plan for this zoning district.

Traffic Generation:

The Institute of Transportation Engineers Trip Generation Manual (11th Edition) provides an estimate of vehicle trips generated for financial institutions. A use of this scale, including the drive-through, will generate approximately 62 AM peak hour trips and 88 PM peak hour trips. It will not meet the threshold (100 trips or more) where a traffic impact study would be required. Traffic impact of this use, consistent with the intent of B-4 zoning, will not generate a significant degree of new traffic.

Building Layout:

The proposed development plan is for one single-story building with 3,133 square feet of gross floor area. In addition, the plan also includes a drive-through service area, the overhanging canopy of which will be 1,062 square feet. The site will have 4,195 square feet of total building coverage, equaling 9.63% of the 1-acre lot. The application will be well under the maximum B-4 lot coverage of 35%. Building height is to be 22 feet, below the B-4 maximum.

Land Use Buffering and Setbacks:

Building setbacks for both the primary structure and the drive-through canopy will meet B-4 zoning standards. There are two unique elements regarding buffering and setbacks beyond typical requirements.

The first is that on the boundary of the zone, the B-4 requires 50-foot setbacks from the property line. This is re-iterated by the *Landscape and Land Use Buffer Ordinance*, which states that the minimum setback for all buildings when adjoining the A-1 zoning district is 50 feet (6.14). The site will require fifty-foot setbacks to the bottom of the plan where the site abuts the R.O.W. of McClelland Circle.

The second unique element is under 6.12.9 of the *Ordinance*, a 50-foot land use buffer will be required where the site abuts the A-1 zoning of McClelland Circle. All setback and land use buffering requirements are met by the plan.

Access & Circulation:

The site will have a single entrance upon Braeburn Road. The Applicant has requested one waiver. The *Subdivision and Development Regulations* states that for non-residential uses, "*Accesses on the same side of the street shall be at least 100' from center line to center line*" (X.1000.Q.2). The entrance shown indicates 60 feet from the Shell station entrance to the north. The applicant has requested relief from the 100-foot entrance distance requirement, citing two primary reasons: 1) there will be no nearby entrances

on the opposite side of the street, and, 2), the planned orientation limits impervious surface towards Braeburn Road.

Staff finds that the intent of the provision is to manage access points, ensuring 100 feet of removal by default, and giving the Commission the ability to individually evaluate all entrances that are closer together: "*Where no other access is physically feasible to existing properties, the Commission may grant a variance in distance*" (X.1000.Q.2). There are no entrance points on the opposite side of the street within 250 feet to the north or 650 feet to the south. Staff finds that because there are no nearby entrances on the opposite side of the street, the requested reduction from 100 feet to 60 feet in entrance separation is appropriate in this specific case and meets the intent of the article.

Internal traffic circulation is circular due to the single access/exit point, and the drive aisle widths range from 22 to 24 feet. The Commission engineer will evaluate to ensure appropriate radii.

The application meets all requirements pertaining to pedestrian access, with existing sidewalks across the street frontage on Braeburn Road. Internal sidewalks will connect to existing pedestrian walkways to access the site. There is a crosswalk that gives access from the existing sidewalk along Braeburn Road to the primary building itself, spanning vertically across the front of the drive-through canopy area shown upon the plan.

Parking & Vehicular Use Area (V.U.A.):

The application meets all minimum parking requirements. The application proposes 22 parking spaces, 2 of which are designated as ADA. These parking areas are to be clustered to the relative west and north of the building. Per the *Ordinance*, parking requirement for the B-4 zoning district is one parking space per 250 square feet of floor area (Section 4.444.E). With 3,133 square feet of floor area for the primary building and use, the site requires 13 parking spaces in total.

The applicant has proposed the installation of 16,383 square feet of vehicular use area, to include the entrance, parking spaces, drive aisles, and drive-through/traffic circulation.

V.U.A. Interior Landscaping:

The *Landscape Ordinance* establishes requirements for interior landscaping in relation to the proposed vehicular use area (V.U.A.). For each 100 square feet of V.U.A., 10 square feet of interior landscaped area shall be provided (6.221). With 16,383 square feet of Vehicular Use Area, the application will require 1,638 square feet of interior landscaped area. The applicant has proposed installing 1,994 square feet of interior landscaping, which exceeds the V.U.A. requirement. Interior trees shall be installed at a ratio of 1 tree per 250 square feet of required interior area (6.2213), in this case equivalent to a minimum of 7 interior trees total. The application indicates 7 total trees credited towards required I.L.A., meeting this requirement. The applicant has submitted a species-specific landscape plan for Commission review at the request of staff.

VUA Perimeter Landscaping:

The *Landscape and Land Use Buffer Ordinance* (6.13.2), establishes the perimeter landscaping requirements for any V.U.A. in any zone along public or private streets, right-of-way, access, or service road. These are to include 1 tree per 40-feet of linear boundary and a 3-foot average height of continuous planting unless there is a minimum 3-foot decrease in elevation from the adjoining property to the V.U.A. The application satisfies this requirement.

The *Landscape and Land Use Buffer Ordinance* requires that when any vehicular use area adjoins any property in any zone that there be a minimum landscape buffer area of 5 feet, with 1 tree per every 40 feet of boundary (6.13.1). The north boundary of the V.U.A. meets this standard, though the south boundary does not meet the standard of 1 tree per every 40 feet of boundary. The width and buffer

requirements will still be satisfied, but a waiver is requested regarding placement of the trees. The Applicant states that the standard would be unachievable based upon the width constraints between the south property boundary and the southernmost portion of the V.U.A. The plan shows a planned masonry/retaining wall to the south border of the V.U.A., ranging from 4 to 6 feet in height.

Upon review of the requested waiver, staff makes the following findings. First, the planned masonry/retaining wall, being 4 to 6 feet in height, will provide adequate visual screening which satisfies the intent of the regulation. Second, the minimum trees required by the article will still be provided, but will be placed to the southeast corner of the site. Third, the space between the edge of the south V.U.A. and the south property boundary does not reasonably allow for the planting of a tree. Fourth, the site will exceed minimum canopy coverage and satisfy the general intent of the article from which relief is sought. Fifth, the portion of the V.U.A. for which relief is sought abuts the B-4, and such intensive buffering is not critical where the zone is adjacent to itself.

Fencing:

The site directly abuts A-1 zoned land to the northwest. This A-1 zoning is a "default" for McClelland Circle, and it is not an active agricultural use. The *Landscape and Use Buffer Ordinance* requires a six-foot-tall no-climb boundary fence for the development of land adjacent to A-1 zoning (6.14).

Under the literal interpretation of the provision of this article, the six-foot no-climb boundary fence would be required upon the common boundary with the A-1 land to the west of the site (bottom of plan). The applicant has requested a waiver from the provisions of this article based on the incompatibility with the future planned Legacy Trail extension to run upon the site.

Upon review of the waiver request, staff makes the following findings. First, the A-1 zone to which this property is adjacent is not any sort of agricultural use; it is McClelland Circle. Second, the fence is incompatible in nature with the planned extension of the Legacy Trail along the northwest boundary of the parcel. Third, the required fifty-foot setbacks and landscape buffer, shown on the plan, will provide adequate degree removal and/or screening for the development.

Canopy and Street Trees:

The *Landscape and Land Use Buffer Ordinance* requires a minimum tree canopy coverage area of 24% for commercial land uses that do not have any preserved coverage area (6.2215). The site will require such a minimum canopy coverage of 24%. The preliminary development plan/landscape sheet indicates a total canopy area of 12,550 square feet in total or 28.8% of the lot. The application exceeds the minimum canopy requirement.

The *Zoning Ordinance* requires that "*Street trees shall be required at a standard of one tree per every 40 linear feet of the individual property. Placement and maintenance shall be the responsibility of the land owner*" (4.444.H). The application meets this requirement, though staff finds a single complication pertaining to it. Two such street trees along Braeburn Road (one upon both sides of the entrance as shown upon the plan) create a potential safety issue due to limiting visibility within the sight triangle of the entrance. The *Subdivision and Development Regulations* states that "*There shall be no objects, manmade or natural, above ground level within the corner sight triangles*" (1000.P.6). Staff recommends that these two trees within the sight triangle of the entrance are removed from landscaping plans prior to submission of Final Development Plan due to safety concerns.

Waiver Findings & Recommendations:

1. Staff recommends **approval** of the waiver from the *Subdivision and Development Regulations* (X.1000.Q.2) in the form of a 40-foot reduction of the minimum required distance between entrances (100-foot minimum), based on the following findings:

- a. 60 feet, as opposed to the required 100, is not an unreasonable circumvention of the requirement.
 - b. With no entrance points along the opposite side of the street nearby, a reduction in distance is acceptable.
 - c. The reduction is an appropriate management of access points, which satisfies the intent of the article.
2. Staff recommends **approval** of the waiver from the *Landscape and Land Use Buffer Ordinance* (6.13.1) in the form of waiving the requirement for 1 tree per 40 feet of linear boundary to the south of the site, based on the following findings:
 - a. The planned masonry/retaining wall, being 4 to 6 feet in height, will provide adequate visual screening.
 - b. The minimum vegetation required by the article will still be provided.
 - c. The space between the edge of the south V.U.A. and the south property boundary does not reasonably allow for the planting of trees.
 - d. The site will exceed minimum canopy coverage and satisfy the general intent of the article from which relief is sought.
 - e. The portion of the VUA for which relief is sought abuts the B-4, and such intensive buffering may not be necessary where the zone is adjacent to itself.
 3. Staff recommends **approval** of the waiver from the *Landscape and Land Use Buffer Ordinance* (6.14) in the form of waiving the requirement of a 6-foot-tall no-climb boundary fence adjoining the A-1, based on the following findings:
 - a. The A-1 zone to which this property is adjacent is not an agricultural use.
 - b. The fence is incompatible in nature with the planned extension of the Legacy Trail.
 - c. The required fifty-foot setback and fifty-foot land use buffer will provide adequate degree of removal and screening for the development.

FINDINGS:

1. The project site is planned to be a 1 acre parcel, zoned B-4 (currently 5.16 acres).
2. The subdivision upon which this development plan is contingent is being considered as FSP-2026-09, evaluated by staff ministerially under KRS 100.275.
3. The development plan shows 3,133 square feet of general floor area, with 4,195 square feet of total building coverage (9.63%); well under the building coverage maximum of the B-4. The application proposes 16,383 square feet of vehicular use area.
4. The proposed use of a bank/financial institution aligns an allowable by-right use in the B-4.
5. Per ITE metrics, the proposal will not require a traffic study or generate a significant degree of new traffic.
6. The development plan requests three waivers and meets all other requirements. Staff recommends approval of all waivers.
7. The development would satisfy the intent of the B-4 (Community Commercial) zoning district.
8. The following regarding waiver #1 (*Subdivision and Development Regulations, X.1000.Q.2*):
 - a. 60 feet, as opposed to the required 100, is not an unreasonable circumvention of the requirement.
 - b. With no entrance points along the opposite side of the street nearby, a reduction in distance is acceptable.
 - c. The reduction is an appropriate management of access points, which satisfies the intent of the article.
9. The following regarding waiver #2 (*Landscape and Land Use Buffer Ordinance, 6.13.1*):
 - a. The planned masonry/retaining wall, being 4 to 6 feet in height, will provide adequate visual screening.
 - b. The minimum vegetation required by the article will still be provided.

- c. The space between the edge of the south V.U.A. and the south property boundary does not reasonably allow for the planting of trees.
 - d. The site will exceed minimum canopy coverage and satisfy the general intent of the article from which relief is sought.
 - e. The portion of the VUA for which relief is sought abuts the B-4, and such intensive buffering may not be necessary where the zone is adjacent to itself.
10. The following regarding waiver #3 (*Landscape and Land Use Buffer Ordinance* (6.14):
- a. The A-1 zone to which this property is adjacent is not an agricultural use.
 - b. The fence is incompatible in nature with the planned extension of the Legacy Trail.
 - c. The required fifty-foot setback and fifty-foot land use buffer will provide adequate degree of removal and screening for the development.

RECOMMENDATION:

Staff recommends **approval** of the proposed Preliminary Development Plan for a bank with 3,133 square feet of gross floor area and 1,065 square feet of drive-through canopy area to be located upon Braeburn Road. Should the Commission approve the application, staff recommends the following waivers and conditions of approval.

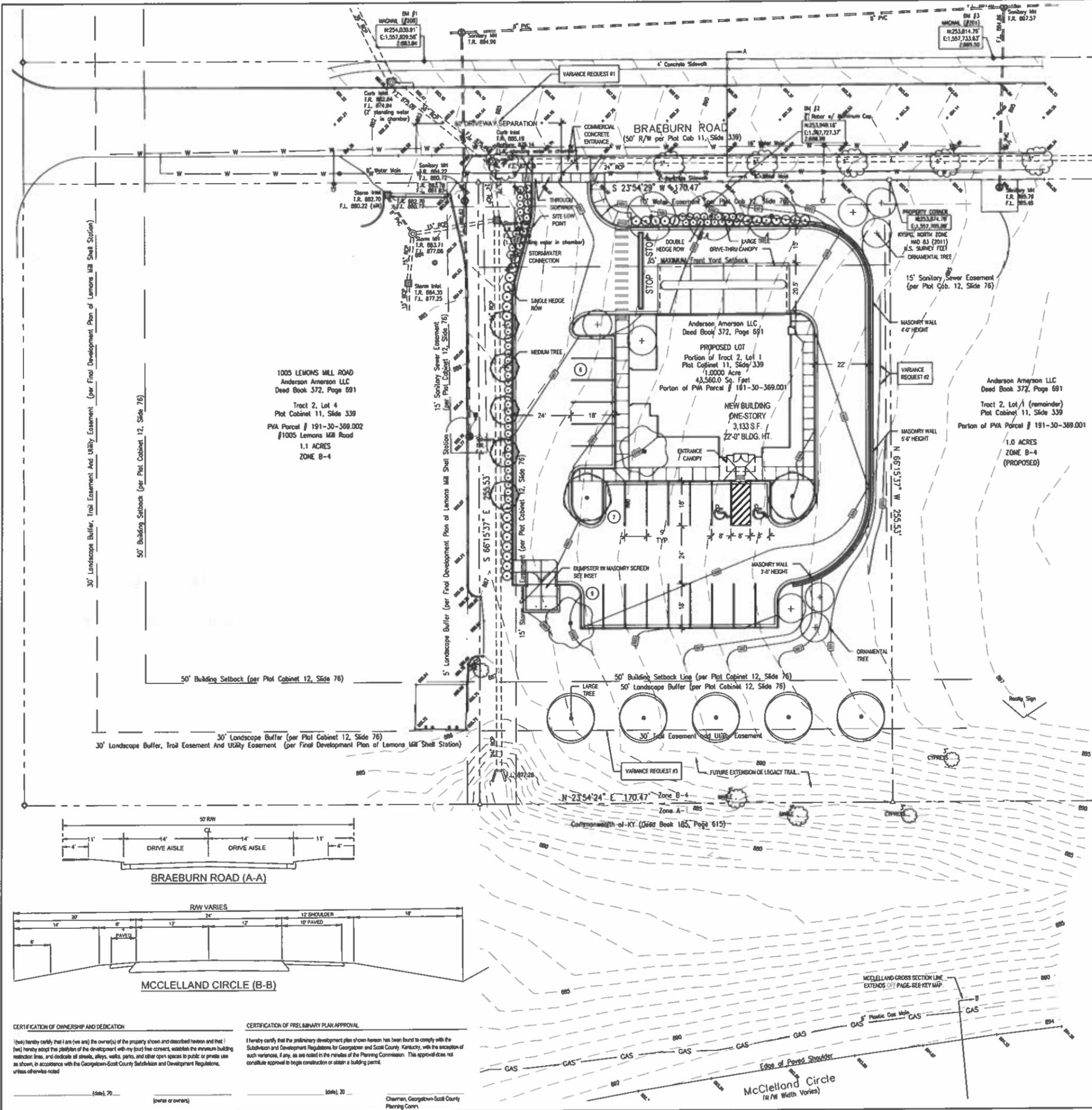
Waivers:

- 1. A 40-foot reduction of the minimum required distance between driveways (100 foot minimum) (X.1000.Q.2 of the *Subdivision and Development Regulations*).
- 2. Waiving the requirement of 1 tree per 40 feet of linear boundary to the south portion of vehicular use area (section 6.13.1 of the *Landscape and Land Use Buffer Ordinance*).
- 3. Waive the requirement of a 6-foot-tall no-climb boundary fence when adjoining the A-1 (6.14 of the *Landscape and Land Use Buffer Ordinance*).

Conditions of Approval:

- 1. All applicable requirements of the *Zoning Ordinance* and *Subdivision and Development Regulations*.
- 2. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.
- 3. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
- 4. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
- 5. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
- 6. The Final Development Plan shall comply with all stormwater management requirements according to the current Stormwater Manual including a post-construction stormwater management BMP O&M agreement.
- 7. A photometric plan shall be submitted and approved as part of the Final Development Plan. The Applicant shall direct lighting away from adjoining property and not have any off-site impact.
- 8. A species-specific landscape plan shall be included with the Final Development Plan indicating all trees to be preserved during construction.
- 9. Any and all conditions that may be imposed for FSP-2026-09.
- 10. All requirements of the Georgetown Fire Department regarding fire hydrant locations and emergency vehicle accessibility.

11. The applicant must work directly with utility providers regarding details of service to the site, and all requirements of utility providers must be met.
12. The applicant shall be responsible for all offsite road and public water and sewer improvements required to serve the proposed development.

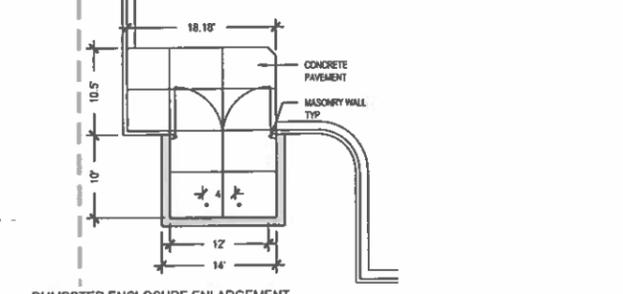


SITE STATISTICS

| | |
|---|--|
| SITE ADDRESS: 124 BRAEBURN ROAD | LANDSCAPE STATISTICS |
| ZONE: COMMUNITY COMMERCIAL (B-4) | VEHICULAR USE AREA: 18,383 S.F. |
| PROPOSED USE: CREDIT UNION | INTERIOR LANDSCAPE AREA REQUIRED: 1,638 S.F. |
| PARCEL AREA: 43,580 S.F. (1.00 ACRES) | INTERIOR LANDSCAPE AREA PROVIDED: 1,994 S.F. |
| PROPOSED BUILDING INFORMATION | INTERIOR TREES REQUIRED: 7 |
| BUILDING S.F.: 3,133 | INTERIOR TREES PROVIDED: 7 |
| BUILDING COVERAGE: 7.20% | VIA PERIMETER TREES REQUIRED: 12 |
| ONE STORY (MAX HEIGHT) 22'-0" | VIA PERIMETER TREES PROVIDED: 13 |
| DRIVE-THRU CANOPY AREA: 1,002 | PROPERTY PERIMETER TREES REQUIRED: 5 |
| TOTAL BUILDING COVERAGE (BUILDING + CANOPY): 9.63% | PROPERTY PERIMETER TREES PROVIDED: 5 |
| PARKING REQUIREMENTS | TREE CANOPY COVERAGE REQUIRED (24%): 39,455 S.F. |
| ONE (1) OFF-STREET SPACE PER 250 S.F. OF FLOOR AREA | TREE CANOPY PRESERVED: 10% |
| REQUIRED PARKING: | TREE CANOPY COVERAGE PROVIDED (28.8%): 12,550 S.F. |
| 3,133 / 250 = 13 SPACES MIN. | 13 LARGE TREES @ 750 S.F. |
| PROPOSED PARKING: | 5 MEDIUM TREES @ 400 S.F. |
| 20 STANDARD SPACE | 8 SMALL TREES @ 100 S.F. |
| 2 HANDICAP SPACES | |
| 22 TOTAL SPACES | |

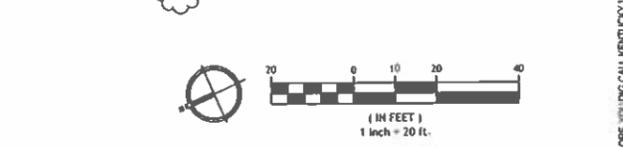
- NOTES:**
1. THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE ROYAL SPRINGS AQUIFER
 2. PARKING LOT LIGHT TO BE CUT-OFF TYPE TO PREVENT LIGHT TRESPASS ONTO RESIDENTIAL NEIGHBORHOOD
 3. A SHALLOW ROOTED TREE (APPLE SERVICEBERRY - AMELANCHIER X GRANDIFLORA) IS PROPOSED ABOVE THE 24" STORM DRAINAGE ROOF SEPARATION BETWEEN PROPOSED GRADE AND TOP OF 24" RCP VARIES BETWEEN 7'-4" AND 8'-0". TYPICAL MAXIMUM DEPTH OF APPLE SERVICEBERRY IS 2'-0" TO 4'-0"
 4. PROPERTY IS SUBJECT TO STORMWATER MAINTENANCE AGREEMENT

- VARIANCE REQUEST:** VARIANCE REQUEST
1. 100'-0" CENTER LINE TO CENTER LINE REQUIREMENT FOR DRIVEWAY ENTRANCE PER ARTICLE X - SITE DESIGN STANDARDS AND SUBDIVISION AND DEVELOPMENT SECTION 02. WE SHOW 60'-0" FROM THE CENTER LINE OF THE PROPOSED DRIVEWAY TO THE CENTER LINE OF THE NEIGHBORING DRIVEWAY. A VARIANCE IS REQUESTED TO MAINTAIN THE 60'-0" SEPARATION AS THERE WILL BE NO ENTRANCES ON THE OPPOSITE SIDE OF THE STREET AND THIS ORIENTATION LIMITS IMPERVIOUS SURFACE NEAR THE BRAEBURN ROAD SIDE OF THE SITE.
 2. 1 TREE PER 40' OF BUILDING FOOTPRINT ON SOUTH PROPERTY LINE OF SITE TO SATISFY VEHICULAR USE AREA PERIMETER REQUIREMENTS PER SECTION 6.13 IN THE GEORGETOWN & SCOTT COUNTY LANDSCAPE AND LAND USE BUFFER ORDINANCE. THE WIDTH CONSTRAINTS MAKE THIS UNACHIEVABLE AND A VARIANCE IS REQUESTED THAT ALLOWS THE REQUIRED TREES TO BE INCLUDED, BUT AT THE CORNER OF VIA ON THE SOUTH SIDE OF THE SITE
 3. 4'-0" HEIGHT AND CLIMB FENCE REQUIREMENT ON WEST EDGE OF PROPERTY LINE AS REQUIRED BY SECTION 6.14 IN THE GEORGETOWN & SCOTT COUNTY LANDSCAPE & LAND USE BUFFER ORDINANCE. A VARIANCE IS REQUESTED TO REMOVE THE NEED FOR THIS FENCING



EXISTING CONDITIONS LEGEND

| | | | | | | | | | | | | | | | | | | |
|-------------------|----------------------|--------------|----------------------|----------------------|----------------|---------------------------|------------------------------|-------------------|----------------------------|---------------------------|--|--------------------------|--------------------------------|------------------|-----------------|----------|----------------|--------------|
| --- PROPERTY LINE | --- EXISTING CONDUIT | --- EASEMENT | --- BUILDING SETBACK | --- LANDSCAPE BUFFER | --- WATER LINE | --- EXISTING STORM PIPING | --- EXISTING SANITARY PIPING | --- EXISTING CURB | --- SANITARY SEWER MANHOLE | --- STORM SEWER STRUCTURE | --- PROPERTY CORNER, 24" LONG 5/8" REBAR | --- MNG MILE WITH 0" TAG | --- BENCH MARK / CONTROL POINT | --- FIRE HYDRANT | --- WATER VALVE | --- SIGN | --- LIGHT POLE | --- HEADWALL |
| --- RAW VARIES | --- TREE | | | | | | | | | | | | | | | | | |



UKFCU-GEORGETOWN
University of Kentucky Federal Credit Union
124 Braeburn Road
Georgetown, Scott County, KY 40324

Owner:
Anderson Commercial
1255 Providence Place Parkway
Lexington, KY 40511
859 207-0030

Landscape Architect/Civil Engineer:
CARMAN
310 Old Vine Street, Suite 200
Lexington, Kentucky 40507
859 254-9803

Architect:
JRA Architects
301 E Vine Street
Lexington, KY 40507
859 252-6781

PRELIMINARY DEVELOPMENT PLAN

DATE: 02/02/2026
DRAWN BY: CTH
PROJECT NUMBER: 23 135
REVISIONS:

CARMAN
LANDSCAPE ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING

PRELIMINARY DEVELOPMENT PLAN

SHEET NUMBER:
PDP

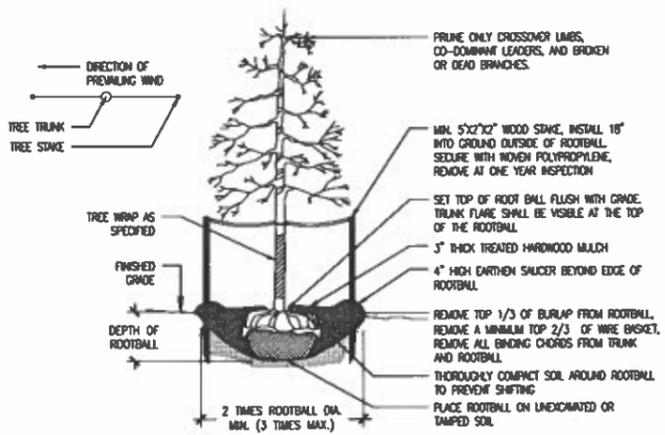
BEFORE BUILDING CALL KENTUCKY UNDERGROUND (811) TWO (2) WORKING DAYS IN ADVANCE OF DIGGING

CERTIFICATION OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt the plat(s) of the development with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open spaces to public or private use as shown, in accordance with the Georgetown-Scott County Subdivision and Development Regulations, unless otherwise noted.

(Date) 20 _____ (Print or stamp) _____

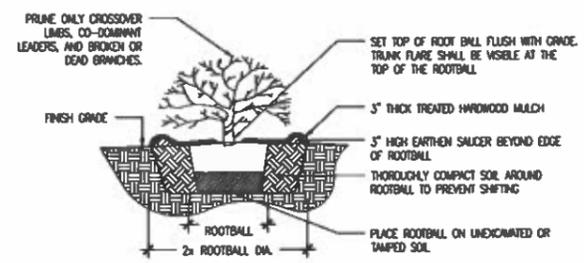
CERTIFICATION OF PRELIMINARY PLAN APPROVAL
I hereby certify that the preliminary development plan shown hereon has been found to comply with the Subdivision and Development Regulations for Georgetown and Scott County, Kentucky, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission. This approval does not constitute approval to begin construction or obtain a building permit.

Charman, Georgetown-Scott County Planning Comm.

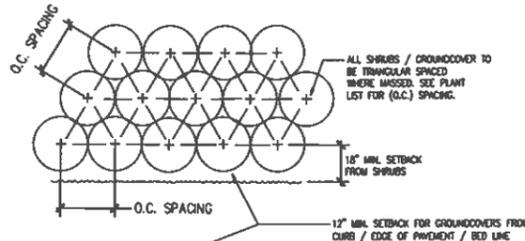


NOTE: ANY SERIES OF TREES PLACED IN A PARTICULAR ARRANGEMENT MAY BE FIELD CHECKED FOR ACCURACY. ANY TREES MISPLACED ARE SUBJECT TO REJECTION.

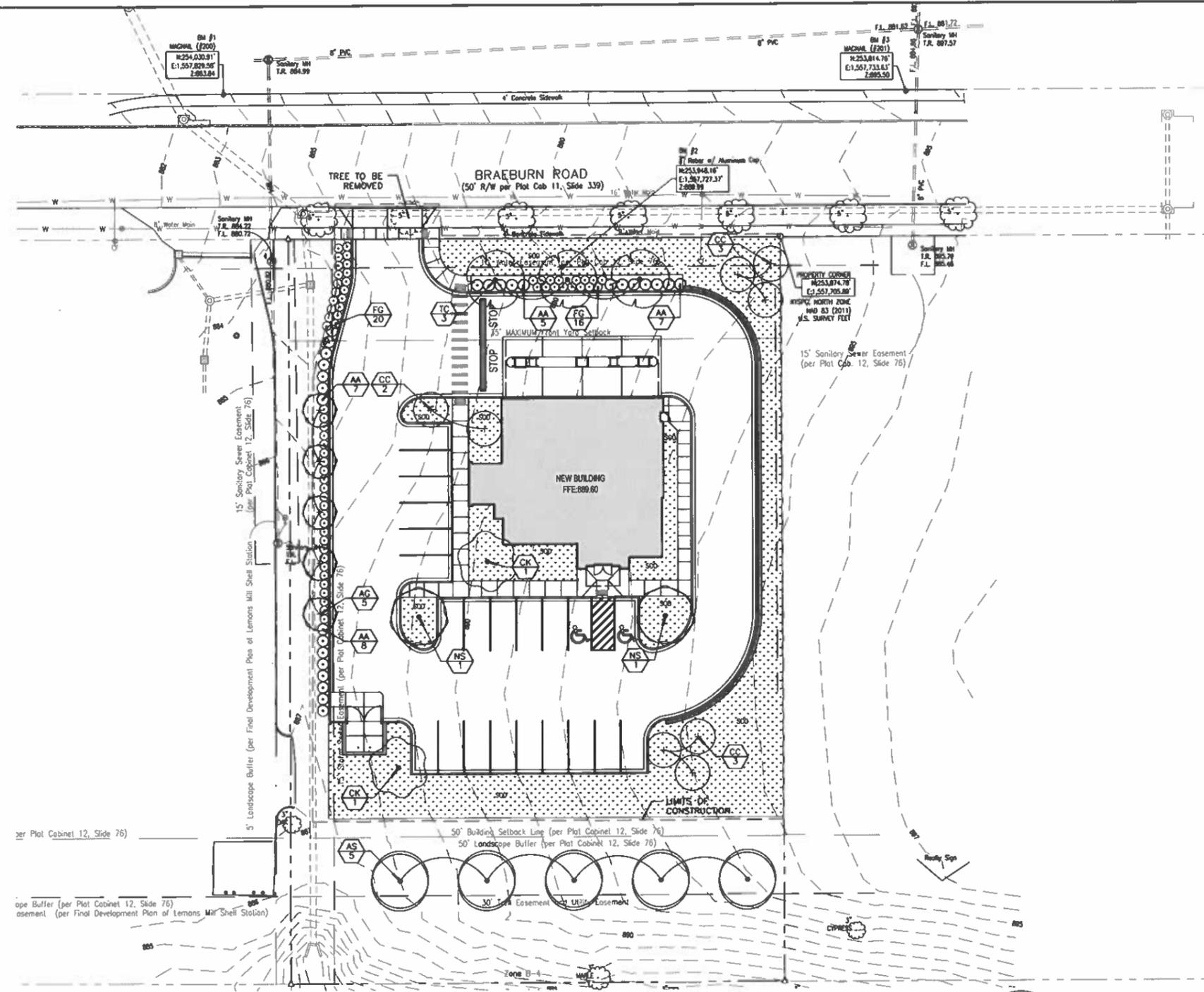
A TREE PLANTING
SCALE: 1" = 1'-0"



B SHRUB PLANTING
SCALE: 1" = 1'-0"



C SHRUB SPACING
SCALE: 3/4" = 1'-0"



LANDSCAPE PLAN

PLANT SCHEDULE

| CODE | QTY | REMARKS | BOTANICAL NAME | COMMON NAME | CONT | GAL |
|----------------|-----|---------|--|--------------------------------------|---------|----------|
| TREES | | | | | | |
| AS | 5 | | <i>Acer spicatum</i> 'Pitt 0285' | Green Mountain® Sugar Maple | 8" x 8" | 2.5" Cal |
| AG | 5 | | <i>Amelanchier x grandiflora</i> 'Autumn Brilliance' | Autumn Brilliance Apple Serviceberry | 8" x 8" | 1.5" Cal |
| CC | 8 | | <i>Cercis canadensis</i> | Eastern Redbud | 8" x 8" | 1.5" Cal |
| CK | 2 | | <i>Clostris kentuckea</i> | American Yellowwood | 8" x 8" | 2" Cal |
| NS | 2 | | <i>Nyssa sylvatica</i> 'David Odum' | Afterburner® Tupelo | 8" x 8" | 2" Cal |
| TC | 5 | | <i>Tilia cordata</i> | Littleleaf Linden | 8" x 8" | 2" Cal |
| SHRUBS | | | | | | |
| AA | 24 | | <i>Arenia melanocarpa</i> 'Autumn Magic' | Autumn Magic Black Chokeberry | 5 gal | 48" o.c. |
| FG | 72 | | <i>Fothergilla gardenii</i> | Dwarf Fothergilla | 5 gal | 36" o.c. |
| SOD (8,650 SF) | | | | | | |

UTILITY NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "B.U.O." (PHONE NO. 811) FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS AND WATER LINES). WHEN CONTACTING THE KENTUCKY 811 CALL CENTER, PLEASE STATE THE WORK TO BE DONE IS FOR A PROPOSED MSO SEWER OR DRAINAGE FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS. IF ANY UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION EXTREME CAUTION SHOULD BE EXERCISED AND THE UTILITY COMPANY NOTIFIED IMMEDIATELY. ANY DAMAGES SHALL BE REPAIRED IMMEDIATELY AT THE DIRECTION OF THE UTILITY COMPANY, INCLUDING TEMPORARY AND PERMANENT WORK.



UKFCU-GEORGETOWN

University of Kentucky Federal Credit Union
Braeburn Road
Georgetown, Scott County, KY 40324

Owner:
University of Kentucky Federal Credit Union
1730 Alysheba Way
Lexington, KY 40509
859.254.4200

Landscape Architect/Civil Engineer:
CARMAN
310 Old Vine Street, Suite 200
Lexington, Kentucky 40507
859.254.9803

Architect:
JRA Architects
301 E Vine Street
Lexington, KY 40507
859.252.6781

PRELIMINARY DEVELOPMENT PLAN REVIEW

DATE: 02/25/2025
DRAWN BY: CTH
PROJECT NUMBER: 23.135
REVISIONS:

CARMAN
LANDSCAPE ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING

COPYING NOTICE: THIS ARCHITECTURAL AND ENGINEERING DRAWING IS OWNED BY CARMAN AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH CARMAN. NO OTHER USE, REPRODUCTION OR DISSEMINATION MAY BE MADE WITHOUT THE WRITTEN CONSENT OF CARMAN. ALL OUR BEST WORKS ARE RESERVED.

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
C8.0

BEFORE YOU DIG CALL KENTUCKY UNDERGROUND (811) TWO (2) WORKING DAYS IN ADVANCE OF DIGGING

FSP-2026-09



651 Perimeter Drive, Suite 300
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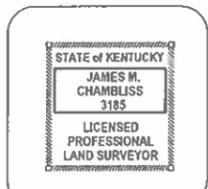
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FINAL SUBDIVISION PLAT
AMERSON FARM & KLEINHENZ
PROPERTIES, TRACT 2, LOT 1
LEMONS MILL ROAD
PVA PARCEL #191-30-369.001
GEORGETOWN, KENTUCKY

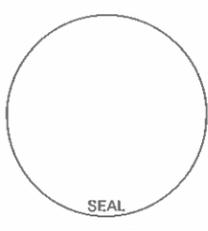
CLIENT
ANDERSON AMERSON, LLC
1255 PROVIDENCE PKWY, STE 250
LEXINGTON, KENTUCKY

OWNER
ANDERSON AMERSON, LLC
1255 PROVIDENCE PKWY, STE 250
LEXINGTON, KENTUCKY

DATE: DECEMBER 2025
PROJECT NO.: 251018
SURVEYED BY: JAMES CHAMBLISS
DRAWN BY: JAMES CHAMBLISS
SCALE: 1" = 100'



SURVEYOR OF RECORD



ENGINEER OF RECORD

LAND SURVEYOR'S NOTES

THIS PLAT IS BASED ON A BOUNDARY SURVEY OF THE AMERSON FARM & EMMA LOU KLEINHENZ PROPERTY AS RECORDED IN DEED BOOK 84, PAGE 431 & DEED BOOK 151, PAGE 570. THE SURVEY WAS PERFORMED BY INTEGRATED ENGINEERING (NKA PRIME AC GROUP, INC.) ON JUNE 9, 2011 BY METHOD OF RANDOM TRAVERSE WITH AN UNADJUSTED ERROR OF CLOSURE OF 1:76,606. THE TRAVERSE WAS NOT ADJUSTED FOR CLOSURE.

THE ORIGIN OF BEARINGS AND COORDINATES IS BASED ON NAD 83 (2011) KENTUCKY STATE PLANE NORTH ZONE DATUM, U.S. SURVEY FOOT.

LOT CORNERS ARE MONUMENTED BY A 5/8" REBAR 18" LONG WITH A BLUE SURVEY CAP STAMPED "PLS 3185 CHAMBLISS" UNLESS OTHERWISE NOTED HEREON.

THIS IS AN URBAN SURVEY AS DEFINED IN 201 KAR 18:150, THE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS. THIS SURVEY COMPLIES WITH SAID STANDARDS. THIS PLAT WAS PREPARED BY ME OR PERSONS UNDER MY DIRECT SUPERVISION.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAT SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE PLANNING COMMISSION OR OTHER AUTHORIZED OFFICER.

JAMES M. CHAMBLISS, PLS 3185 DATE

CERTIFICATION OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT/PLAN OF THE DEVELOPMENT WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN, IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, UNLESS OTHERWISE NOTED.

ANDERSON AMERSON, LLC DATE
DB 372 PG 691, CAB 12, PG 376

CERTIFICATION OF WATER & SEWER SERVICES

I HEREBY CERTIFY THAT GEORGETOWN MUNICIPAL WATER & SEWER SERVICE (GMWSS), BY AND THROUGH THE CITY OF GEORGETOWN, KY, HAS FACILITIES WITHIN THE WATER DISTRIBUTION AND SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM TO SUPPLY THE PROPERTY LOCATED AT AMERSON FARM AND KLEINHENZ PROPERTIES, TRACT 2, LOTS 1A, 1B, 1C, 1D & 1E WITH WATER AND SANITARY SEWER SERVICE. CERTIFICATION FOR WATER SERVICE OUTSIDE THE CITY LIMITS OF GEORGETOWN, KY IS LIMITED TO DOMESTIC SERVICE ONLY. FIRE FLOW PROTECTION IS NOT GUARANTEED. PROVISION OF DEVELOPMENT, CONSTRUCTION, AND SERVICE IS CONTINGENT UPON THE DEVELOPER OBTAINING A CURRENT APPROVED AVAILABILITY OF CAPACITY REQUEST FROM THE GMWSS BOARD OF COMMISSIONERS; AND GMWSS REVIEW AND APPROVAL OF ALL PLANS AND SPECIFICATIONS FOR REQUIRED ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO WATER LINES, ELEVATED STORAGE TANKS, BOOSTER PUMP STATIONS, GRAVITY AND FORCE MAIN SANITARY SEWER LINES, PUMP STATIONS, AND RELATED APPURTENANCES FOR THE PROPOSED SYSTEM. CONSTRUCTION OF THE PROPOSED WATER DISTRIBUTION AND SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE AT THE COST OF THE DEVELOPER WITHOUT REIMBURSEMENT BY GMWSS AND CONSTRUCTED ACCORDING TO GMWSS AND KENTUCKY DIVISION OF WATER APPROVED PLANS AND SPECIFICATIONS. EASEMENTS REQUIRED FOR THE PROPOSED WATER DISTRIBUTION AND SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE ACQUIRED BY THE DEVELOPER AND DEDICATED TO GMWSS.

GENERAL MANAGER DATE

CERTIFICATION OF AVAILABILITY OF UTILITY SERVICES

I HEREBY CERTIFY THAT KENTUCKY UTILITIES SHALL SUPPLY AMERSON FARM & KLEINHENZ PROPERTIES, TRACT 2, LOTS 1A, 1B, 1C, 1D & 1E WITH ELECTRIC SERVICES AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS AGENCY AND ALL OTHER APPLICABLE REQUIREMENTS.

COMPANY REPRESENTATIVE DATE

I HEREBY CERTIFY THAT BELL SOUTH SHALL SUPPLY AMERSON FARM & KLEINHENZ PROPERTIES, TRACT 2, LOTS 1A, 1B, 1C, 1D & 1E WITH TELEPHONE SERVICES AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS AGENCY AND ALL OTHER APPLICABLE REQUIREMENTS.

COMPANY REPRESENTATIVE DATE

CERTIFICATION OF FIRE DEPARTMENT APPROVAL

I HEREBY CERTIFY THAT THE DEVELOPMENT PLAN SHOWN HEREON HAS BEEN REVIEWED AND FOUND TO COMPLY WITH THE GEORGETOWN FIRE DEPARTMENT REGULATIONS, INCLUDING ANY CONDITIONS OF APPROVAL OR EXCEPTIONS, NOTED HEREON.

FIRE DEPARTMENT REPRESENTATIVE DATE

CERTIFICATION OF GIS DEPARTMENT APPROVAL

I HEREBY CERTIFY THAT THIS SUBDIVISION PLAT SHOWN HAS BEEN REVIEWED AND FOUND TO COMPLY WITH THE DIGITAL SUBMITTAL REQUIREMENTS SET FORTH IN THE SUBDIVISION AND DEVELOPMENT REGULATIONS.

GIS MANAGER/ANALYST DATE
GEORGETOWN-SCOTT COUNTY PLANNING COMM.

CERTIFICATION OF UTILITY EASEMENT DESCRIPTION

EASEMENTS GRANT AND CONVEY TO THE KENTUCKY UTILITY COMPANY, SOUTH CENTRAL BELL, GEORGETOWN MUNICIPAL WATER & SEWER SERVICE (GMWSS), THEIR SUCCESSORS, ASSIGNEES AND LESSEES, THE RIGHT TO TRIM OR REMOVE ANY AND ALL TREES, STRUCTURES AND OBSTACLES LOCATED ON THE EASEMENTS OR IN SUCH PROXIMITY THERETO THAT IN FALLING THEY MIGHT INTERFERE WITH OPERATION AND MAINTENANCE OF SAID FACILITY. NO BUILDING OR OTHER STRUCTURE SHALL BE ERRECTED, AND NO LANDFILL OR EXCAVATION OR OTHER CHANGE OF GRADE SHALL BE PERFORMED, UPON THE SAID EASEMENT AFTER INSTALLATION OF FACILITIES. THE RIGHT OF INGRESS AND EGRESS IS HEREBY GRANTED TO USERS OF THE UTILITY EASEMENT AS REQUIRED TO CONSTRUCT, OPERATE, MAINTAIN, REINFORCE, REPAIR & REPLACE FACILITIES WITHIN SAID EASEMENTS. ALL LOTS LINES NOT HAVING AN EASEMENT INDICATED WILL HAVE 5' EASEMENTS ON THEM.

OWNER DATE

CERTIFICATION OF GMWSS INFRASTRUCTURE

THE OWNERSHIP OF WATER AND/OR SANITARY SEWER INFRASTRUCTURE THERETO EXISTING OR INSTALLED AND LOCATED WITHIN EASEMENTS AND RIGHT OF WAYS, SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF GEORGETOWN, BY AND THROUGH GEORGETOWN MUNICIPAL WATER AND SEWER SERVICE (GMWSS), FOR OPERATION, FOR A PERIOD OF ONE (1) YEAR FROM THE FIRST PAID AND INSTALLED RESIDENTIAL, COMMERCIAL OR INDUSTRIAL WATER AND SEWER CONNECTION. ANY AND ALL MAINTENANCE COSTS INCURRED BY GMWSS AS A RESULT OF FACILITY EQUIPMENT OR INSTALLATION WILL BE INVOICED TO THE DEVELOPER FOR REIMBURSEMENT TO GMWSS.

OWNER/DEVELOPER DATE

STORM WATER MAINTENANCE NOTES:

THE DEVELOPER SHALL MAINTAIN ALL DETENTION/RETENTION BASINS, WATER QUALITY UNITS AND GREEN SPACE AREAS FREE AND CLEAR OF ALL DEBRIS, TRASH, SILT AND OTHER OBSTRUCTIONS, IN SUCH A FASHION AS NOT TO CREATE A POTENTIAL OR ACTUAL HEALTH OR SAFETY HAZARD, INCLUDING MOWING AND THE CARE OF LANDSCAPE ITEMS, INCLUDING THE SOODING AND/SEEDING OF ERODED AREAS TO PROVIDE VEGETATIVE COVER, UNTIL SUCH TIME AS THE CITY ACCEPTS MAINTENANCE. NO FENCE, OR OTHER OBSTRUCTION, MAY BE CONSTRUCTED, OR ANY OTHER ALTERATION OF THE APPROVED CONDITIONS MADE WITHIN THE EASEMENT WITHOUT THE WRITTEN APPROVAL OF THE CITY OF GEORGETOWN.

DRAINAGE EASEMENT DESCRIPTION

DRAINAGE EASEMENTS CONTAIN STORMWATER CHANNELS, STORMWATER STORAGE AREAS/FACILITIES, AND ACCESS RIGHTS FOR MAINTENANCE OF SUCH FACILITIES. NO CHANNEL ALTERATION OR CONSTRUCTION THAT WOULD OBSTRUCT THE FLOW OF STORMWATER IS ALLOWED. THERE SHALL BE NO STORAGE OR DISPOSAL OF GRASS CLIPPINGS, TRASH, DEBRIS, OR OTHER POTENTIAL OBSTRUCTIONS THAT MAY WASH INTO STORMWATER CHANNELS OR STORAGE AREAS.

NOTES:

STORMWATER MANAGEMENT IS LOCATED OFFSITE IN A BASIN AS SHOWN ON PLAT CABINET 12 PAGE 76.

UTILITY COMPANIES SHALL HAVE ACCESS TO ALL OPEN SPACE AREAS FOR THE PROVISION AND MAINTENANCE OF SERVICE.

ALL MAINTENANCE AND REPAIRS ON THE SANITARY SEWER LATERALS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

STREET LIGHTS SHOWN HEREON ARE FROM PLAT CABINET 12, PAGE 76.

TRACT 2, LOT 1C IS A NON-BUILDABLE LOT UNTIL INFRASTRUCTURE IS INSTALLED AND APPROVED BY GMWSS, AND AN AMENDED PLAT IS RECORDED.

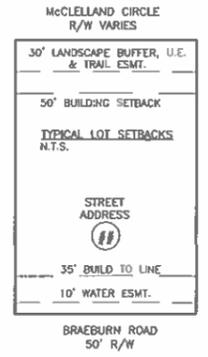
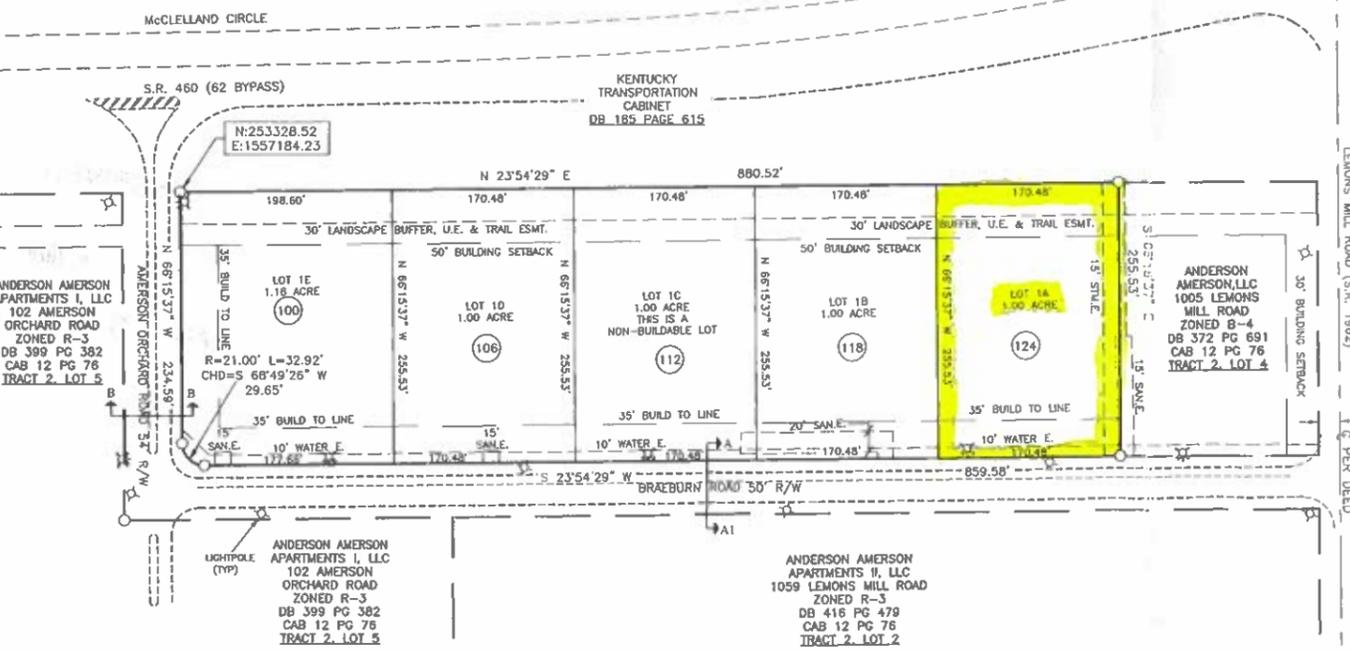
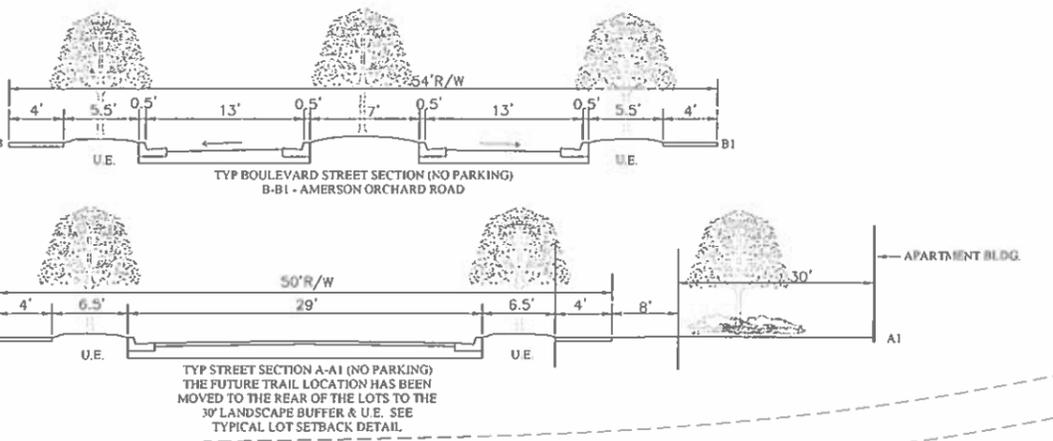
ANY FURTHER SUBDIVISION OF THE SUBJECT PROPERTY SHALL REQUIRE REVIEW AND APPROVAL BY THE PLANNING COMMISSION.

HIGHWAY CL & R/W PLANS

EXISTING CENTERLINE AND RIGHT OF WAY OF McCLELLAND CIRCLE BASED UPON THE KYTC HIGHWAY AND RIGHT-OF-WAY PLANS OF PROJECT STP-460-1(B) 1998 AS-BUILT.

LEGEND

- PROPERTY LINE/CORNER
- ADJOINER PROPERTY LINE
- BUILDING LINE
- EASEMENT LINE
- CONCRETE CURB
- EDGE OF PAVEMENT
- HYDRANT
- LIGHT POLE



P:\projects\2025\251018 Amerson North Comm Final Plat\500-CAD\520-Survey\524-Working\Working Drawings\251018 Amerson North Comm FRP.dwg (18X24 FRP) 12-23-25 4:04 PM James Chambliss